



# CP242862 - PICKARD HALL - PHASE 1 - SELECTIVE DEMOLITION AND RAD CHARACTERIZATION

FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI  
PROJECT NO. CP242862

LOCATION MAP NOT TO SCALE



DEFERRED SUBMITTALS:

N/A

APPLICABLE CODE LIST:

INTERNATIONAL BUILDING CODE – 2024  
INTERNATIONAL EXISTING BUILDING CODE – 2024  
NATIONAL ELECTRIC CODE/NFPA 70 – 2023

UTILITY NOTES:

ALL UTILITIES ARE UNIVERSITY OF MISSOURI, EXCEPT AS NOTED BELOW. THE LOCATIONS, SIZES, AND MATERIAL TYPES OF UNDERGROUND UTILITIES INDICATED ON THE PLAT, NOT VISIBLE OR APPARENT FROM THE SURFACE, ARE SHOWN IN THEIR APPROXIMATE LOCATIONS FROM A MISSOURI ONE CALL. SYSTEM LOCATE, OR UTILITY COMPANY RECORDS AND WERE NOT VERIFIED IN THE FIELD. IRRIGATION LINES NOT SHOWN. UNDERGROUND ELECTRIC TO LIGHT STANDARDS NOT SHOWN.

UNIVERSITY OF MISSOURI  
ENERGY MANAGEMENT OFFICE  
417 SOUTH FIFTH STREET  
COLUMBIA, MISSOURI 65211  
CONTACT: 573-882-3094  
ELECTRIC, TELECOMMUNICATIONS, STEAM, WATER  
CHILLED WATER, SANITARY SEWER, STORM SEWER

WATER  
CITY OF COLUMBIA WATER & LIGHT DEPARTMENT  
P.O. BOX 6015  
COLUMBIA, MISSOURI 65205  
CONTACT: JOE STRODTMAN 573-874-6308

ELECTRIC  
CITY OF COLUMBIA WATER & LIGHT DEPARTMENT  
P.O. BOX 6015  
COLUMBIA, MISSOURI 65205  
CONTACT: DAN CLARK 573-874-7738

GAS  
AMEREN MISSOURI  
2001 MACQUIRE BOULEVARD  
COLUMBIA, MISSOURI 65201  
CONTACT: CHAD WARREN 573-876-3063

TELECOMMUNICATIONS  
CENTURYLINK  
625 E. CHERRY STREET  
COLUMBIA, MISSOURI 65201  
CONTACT: TIM DISHAM 573-886-3505

MEDIACOM  
1211 WILKES BOULEVARD  
COLUMBIA, MISSOURI 65201  
CONTACT: BOB BONER 573-443-1536

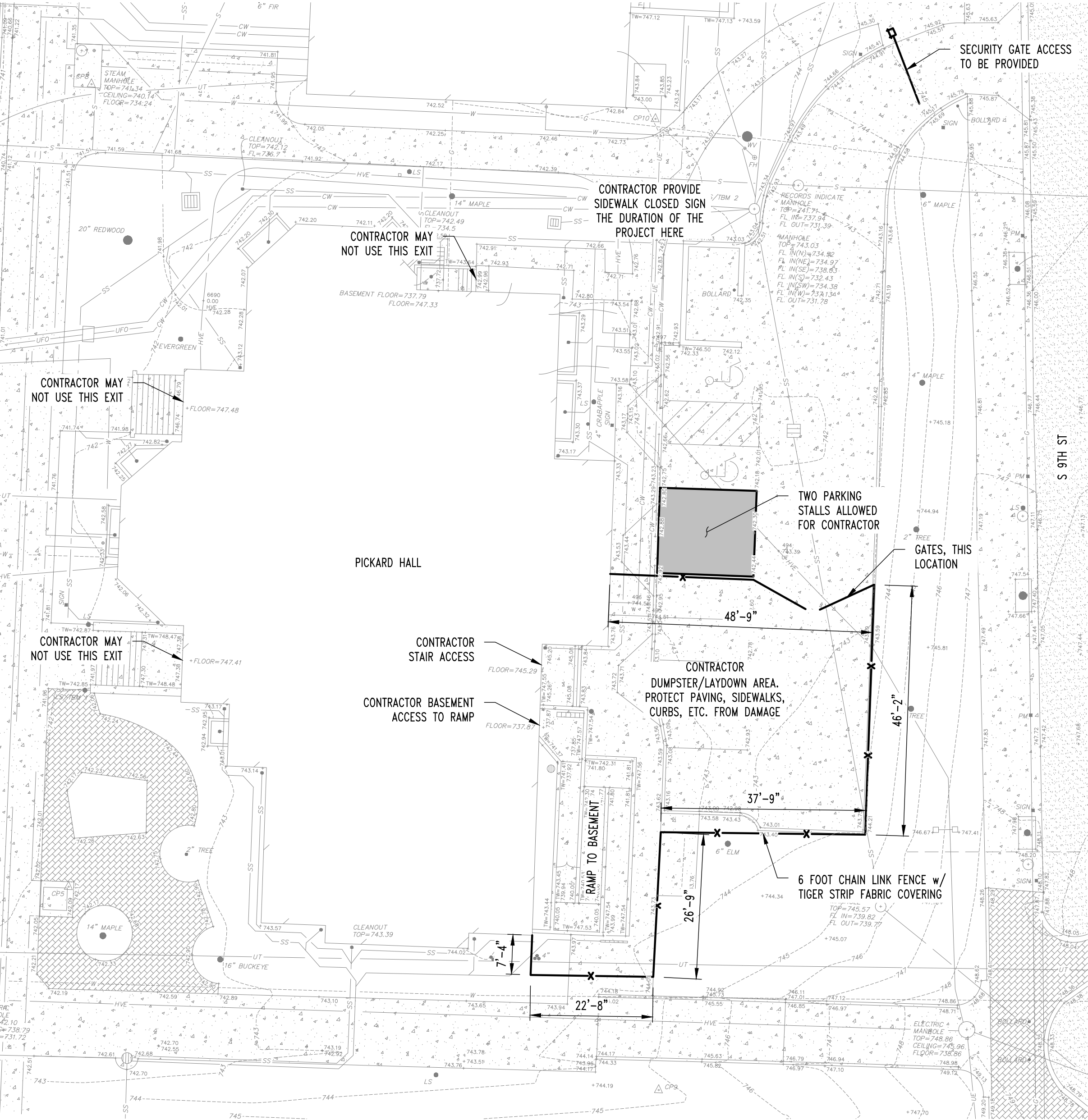
CITY OF COLUMBIA WATER & LIGHT DEPARTMENT  
P.O. BOX 6015  
COLUMBIA, MISSOURI 65205  
CONTACT: ERIC WORTS 573-874-6246

CHARTER COMMUNICATIONS  
904 RAIN FOREST PARKWAY  
COLUMBIA, MISSOURI 65202  
CONTACT: JEREMY EPPERSON 573-745-0208

SANITARY SEWER  
CITY OF COLUMBIA UTILITIES DEPARTMENT  
P.O. BOX 6015  
COLUMBIA, MISSOURI 65205  
CONTACT: ERIN KEYS 573-874-7502  
AS SHOWN

STORM SEWER  
CITY OF COLUMBIA UTILITIES DEPARTMENT  
P.O. BOX 6015  
COLUMBIA, MISSOURI 65205  
CONTACT: TOM WELLMAN 573-874-7250  
AS SHOWN

EXISTING SURVEY/SITE LOGISTICS PLAN NOT TO SCALE

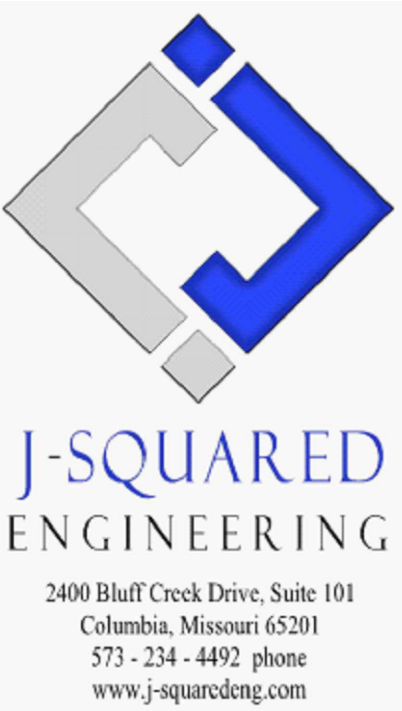


CONTRACTOR NOTES:

- THE INTENT OF THIS PROJECT IS TO REMOVE INTERIOR FINISHES THAT WERE INSTALLED AFTER THE BUILDING WAS ORIGINALLY CONSTRUCTED. ALL INTERIOR FURRING WALLS, CEILING, FLOORING, AND GYPCRETE SUBFLOORING ARE INTENDED TO BE REMOVED REGARDLESS OF THE NOTES ON THE FLOOR PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WITH THE ENGINEER THAT ALL THE FINISHES HAVE BEEN REMOVED PRIOR TO THE PROJECT FINISHING. ORIGINAL MASONRY WALLS WITH PLASTER, ORIGINAL AND NON ORIGINAL BASEMENT CONCRETE FLOORS ON GRADE, ORIGINAL WOOD FRAMING, WOOD SUBFLOORS AND PLASTER CEILINGS, ALONG WITH ATTIC/ROOF FRAMING ARE TO REMAIN.
- ACM AND RAD MATERIALS ARE PRESENT CURRENTLY WITHIN THIS BUILDING FOOTPRINT. IT IS EXPECTED THAT THE ACM MATERIALS WILL BE REMOVED BY THE PROJECT CONTRACTOR FIRST, THEN GENERAL DEMOLITION CAN BEGIN. EHS/CHASE WILL BE ONSITE TO TEST FOR RAD CONTAMINATION THE DURATION OF THE PROJECT. ALL ON-SITE PERSONEL SHALL HAVE RAD TRAINING PRIOR TO WORKING AT THIS PROJECT SITE, A PROJECT SPECIFIC SPECIFICATION INDICATING ACM & LEAD MATERIAL TO BE REMOVED IS PROVIDED IN THE DIVISION #1 DOCUMENTS.
- MOST FIXTURES SUCH AS LIGHTING, OUTLETS, LAVATORIES, AND WATER CLOSETS ARE INTENDED TO THE REMOVED AS PART OF THIS PROJECT; HOWEVER, MECHANICAL SYSTEMS, MAIN ELECTRICAL SYSTEMS, AND STEAM SYSTEMS WILL REMAIN NEED TO BE MAINTAINED AND OPERATIONAL AT THE END OF THE PROJECT.
- IT IS EXPECTED THAT EITHER THE FIRE ALARM SYSTEM OR A FIRE WATCH WILL BE MAINTAINED AT ALL TIMES DURING AND AFTER THE PROJECT.
- THIS PROJECT IS INTENDED TO BE CONSIDERED A TURNKEY PROJECT BY THE CONTRACTOR, SO THE CONTRACTOR SHOULD CLOSELY REVIEW THE STRUCTURAL, ELECTRICAL, AND SUPPLIER DRAWINGS TO CLEARLY UNDERSTAND WHICH NEW MATERIALS WILL BE SUPPLIED AND WHICH WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- COORDINATE LAY DOWN AREAS w/ OWNER'S REPRESENTATIVE.
- CONTRACTOR TO PROTECT EXISTING UTILITIES, LANDSCAPING, STRUCTURES, & PAVEMENT THAT IS TO REMAIN. ALL DAMAGED ITEMS OUTSIDE THE SCOPE OF WORK TO BE REPLACED OR REPAIRED TO ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURE ACCEPTABLE TO CHASE ENVIRONMENTAL THE DURATION OF THE PROJECT BOTH INTERIOR AND AT DUMPSTER.



TIGER STRIPE FENCE SCREENING PATTERN



MEP  
I HEREBY CERTIFY THAT THESE DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND/OR SPECIFICATIONS ARE AS REQUIRED BY AND IN COMPLIANCE WITH THE BUILDING CODES OF THE UNIVERSITY OF MISSOURI.

SIGNATURE: *J.P. Watson*



STRUCTURAL  
I HEREBY CERTIFY THAT THESE DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND/OR SPECIFICATIONS ARE AS REQUIRED BY AND IN COMPLIANCE WITH THE BUILDING CODES OF THE UNIVERSITY OF MISSOURI.

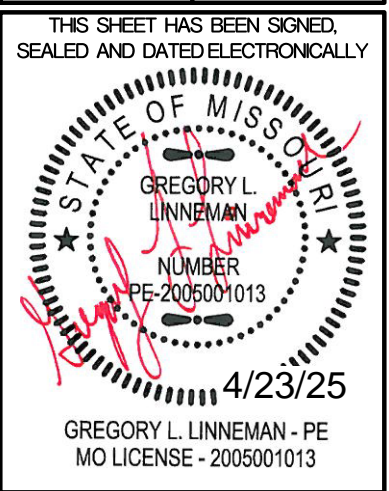
SIGNATURE: *Gregory L. Linneman*

SHEET INDEX:

- STRUCTURAL:  
COVER - COVER SHEET  
D100 - BASEMENT DEMO PLAN  
D101 - FIRST FLOOR DEMO PLAN  
D102 - SECOND FLOOR DEMO PLAN

- MECHANICAL/ELECTRICAL/PLUMBING:  
ME101 - MECHANICAL ELECTRICAL PLAN - BASEMENT  
ME102 - MECHANICAL ELECTRICAL PLAN - FIRST FLOOR  
ME103 - MECHANICAL ELECTRICAL PLAN - SECOND FLOOR  
FA101 - FIRE ALARM PLAN - BASEMENT  
FA102 - FIRE ALARM PLAN - FIRST FLOOR  
FA103 - FIRE ALARM PLAN - SECOND FLOOR

REVISIONS:	
No.	Date
BID SET	04/24/2025



STRUCTURAL ENGINEER:  
**CROCKETT**  
ENGINEERING CONSULTANTS  
1000 W. Nifong Blvd., Bldg. 1  
Columbia, Missouri 65203  
(573) 447-0292  
www.crockettengineering.com  
Missouri Certificate of Authority #2005001013

CLIENT:  
UNIVERSITY OF MISSOURI  
225 UNIVERSITY HALL  
COLUMBIA, MISSOURI 65211

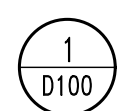
CP242862 - Pickard Hall - Phase 1 - Selective Demolition and RAD Characterization

405 S 9th ST  
COLUMBIA, BOONE COUNTY, MISSOURI

DRAWING INCLUDES:	
COVER SHEET	

DESIGNED:	GLL
DRAWN:	RCA
CEC PROJECT NO.:	240246
SHEET:	COVER



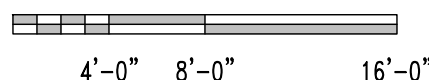


SCALE:  $\frac{1}{8}'' = 1'-0''$



APPROXIMATE BASEMENT  
SQUARE FOOTAGE IS 7,750 SQ. FT.

SCALE:  $\frac{1}{8}" = 1'-0"$

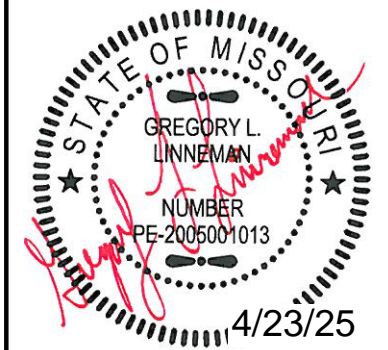


- (D1) REMOVE ALL DRYWALL & FURRING STUD WALLS.
- (D2) REMOVE ALL CARPET.
- (D3) REMOVE ALL NON-PLASTER CEILING & SOFFITS.

## REVISIONS:

[illegible]

THIS SHEET HAS BEEN SIGNED,  
SEALED AND DATED ELECTRONICALLY



GREGORY L. LINNEMAN - PE  
MO LICENSE - 2005001013

**STRUCTURAL ENGINEER:**  
**CROCKETT**  
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UNIVERSITY  
OF MISSOURI  
225 UNIVERSITY HALL  
COLUMBIA, MISSOURI  
65211

**CP242862 - Pickard Hall - Phase 1 - Selective Demolition and RAD Characterization**

**DRAWING INCLUDES:**

BASEMENT  
DEMO PLAN

DESIGNED: GLL

GLL

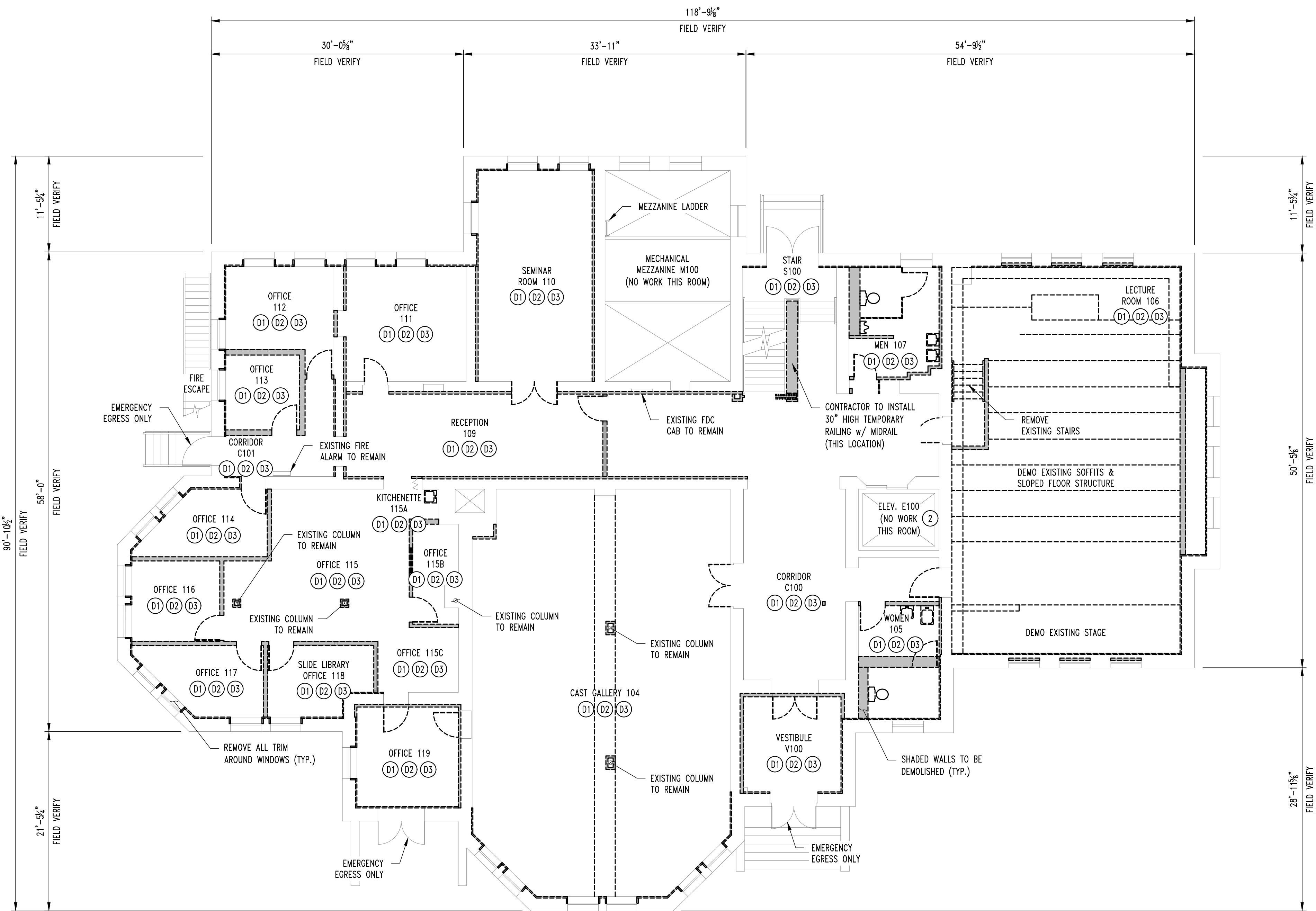
DRAWN: RCA

RCA

CEC PROJECT NO.: 240248

SHEET:

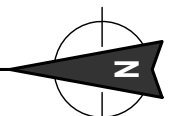
D100



1  
D101

### FIRST FLOOR DEMO PLAN

SCALE: 1/8" = 1'-0"



**NOTE:**  
APPROXIMATE FIRST FLOOR  
SQUARE FOOTAGE IS 7,750 SQ. FT.

SCALE: 1/8" = 1'-0"  
4'-0" 8'-0" 16'-0"

### GENERAL NOTES

- 1 REFER TO 1974 PRINTS FOR SPECIFICS ON FINISHES THAT WERE ADDED TO THE BUILDING SUCH AS FLOORING, CEILING, AND WALL FURRING.
- 2 ELEVATOR IS NOT TO BE UTILIZED FOR THIS DEMO PROJECT.
- 3 ALL SURFACES TO REMAIN SHALL BE FREE & CLEAR OF NAILS, PROTRUSIONS, ETC. TO ALLOW FOR SCANNING.
- 4 REFER TO ASBESTOS, LEAD, & UNIVERSAL WASTE REPORT PRIOR TO DEMOLITION.
- 5 LEAVE FINISHES BEHIND ALL MAJOR CONDUIT/PIPING & BEHIND MISC. CONTROL PANELS.
- 6 FIRE EXTINGUISHERS SHALL BE REMOVED & INSTALLED IN SAME GENERAL LOCATION AS THEY WERE ORIGINALLY.

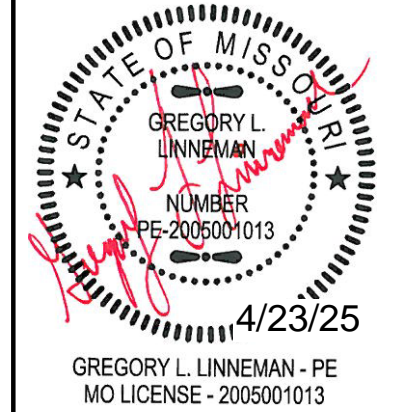
### DEMOLITION NOTES

- D1 REMOVE ALL DRYWALL & FURRING STUD WALLS.
- D2 REMOVE ALL BRICK/CARPET FLOORING & 2" THICK GYPCRETE.
- D3 REMOVE ALL NON-PLASTER CEILINGS & SOFFITS.

### REVISIONS:

No.	Date
BID SET	04/24/2025

THIS SHEET HAS BEEN SIGNED,  
SEALED AND DATED ELECTRONICALLY



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225 UNIVERSITY HALL  
COLUMBIA, MISSOURI  
65211

## CP242862 - Pickard Hall - Phase 1 - Selective Demolition and RAD Characterization

405 S 9th ST  
COLUMBIA, BOONE COUNTY, MISSOURI

### DRAWING INCLUDES:

FIRST FLOOR  
DEMO PLAN

DESIGNED: GLL

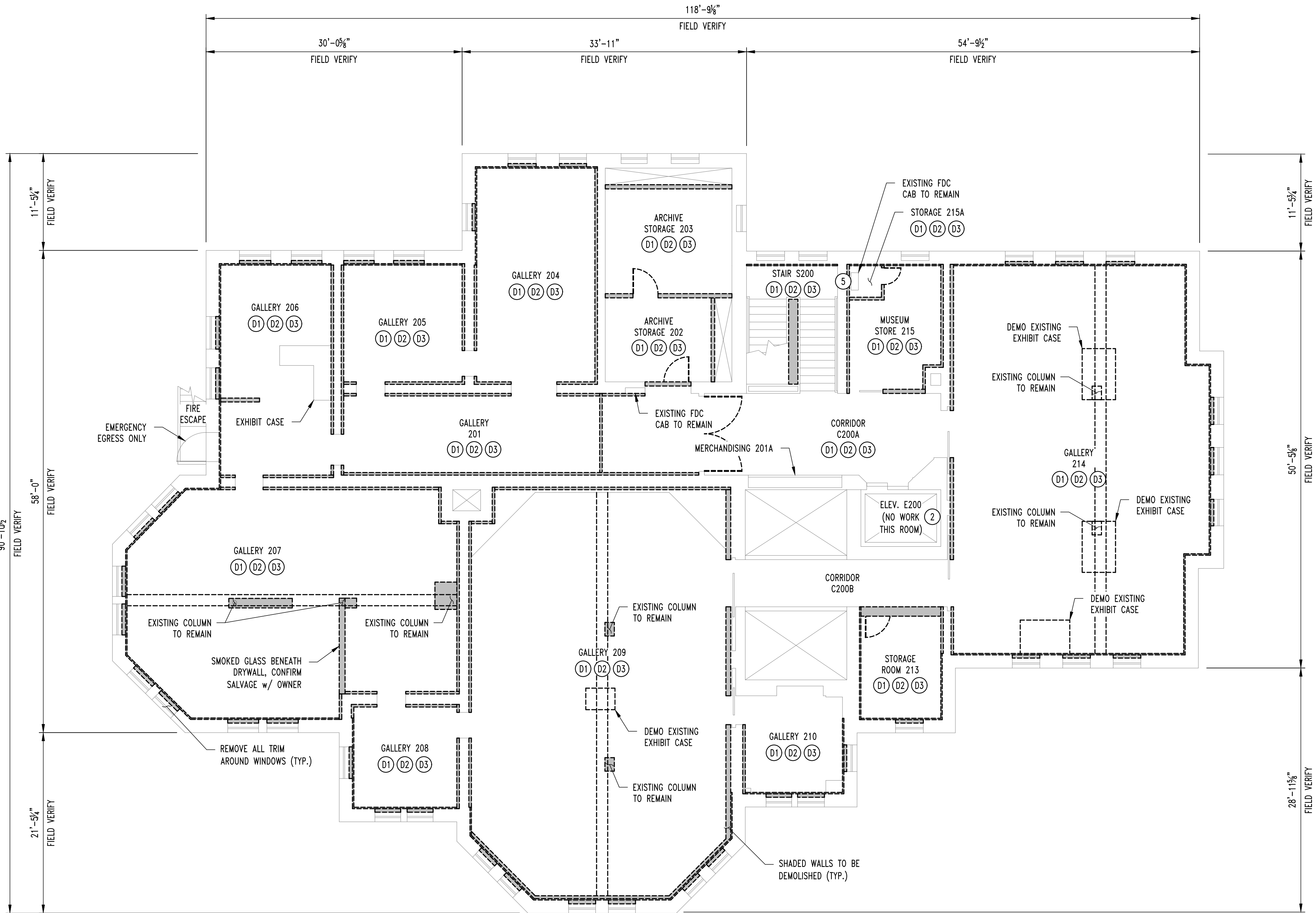
DRAWN: RCA

CEC PROJECT NO.: 240246

### SHEET:

D101

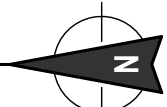




1  
D102

SECOND FLOOR DEMO PLAN

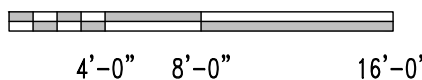
SCALE:  $\frac{1}{8}$ " = 1'-0"



NOTE:

APPROXIMATE SECOND FLOOR  
SQUARE FOOTAGE IS 7,750 SQ. FT.

SCALE:  $\frac{1}{8}$ " = 1'-0"



GENERAL NOTES

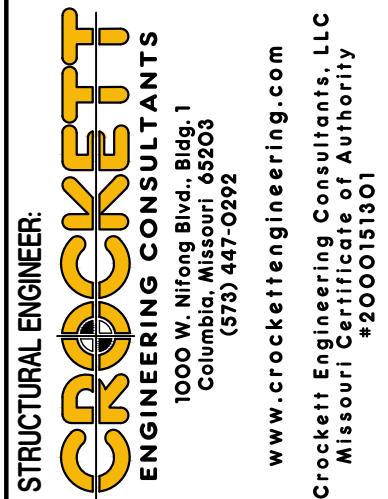
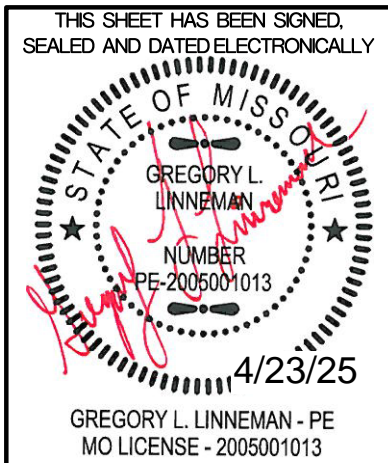
- 1 REFER TO 1974 PRINTS FOR SPECIFICS ON FINISHES THAT WERE ADDED TO THE BUILDING SUCH AS FLOORING, CEILING, AND WALL FURRING.
- 2 ELEVATOR IS NOT TO BE UTILIZED FOR THIS DEMO PROJECT.
- 3 ALL SURFACES TO REMAIN SHALL BE FREE & CLEAR OF NAILS, PROTRUSIONS, ETC. TO ALLOW FOR SCANNING.
- 4 REFER TO ASBESTOS, LEAD, & UNIVERSAL WASTE REPORT PRIOR TO DEMOLITION.
- 5 LEAVE FINISHES BEHIND ALL MAJOR CONDUIT/PIPING & BEHIND MISC. CONTROL PANELS.
- 6 FIRE EXTINGUISHERS SHALL BE REMOVED & INSTALLED IN SAME GENERAL LOCATION AS THEY WERE ORIGINALLY.

DEMOLITION NOTES

- D1 REMOVE ALL DRYWALL & FURRING STUD WALLS.
- D2 REMOVE ALL BRICK/CARPET FLOORING & 2" THICK GYPCRETE.
- D3 REMOVE ALL NON-PLASTER CEILINGS & SOFFITS.

REVISIONS:

No.	Date
BID SET	04/24/2025



CLIENT:  
UNIVERSITY  
OF MISSOURI  
225 UNIVERSITY HALL  
COLUMBIA, MISSOURI  
65211

CP242862 - Pickard Hall - Phase 1 - Selective  
Demolition and RAD Characterization  
405 S 9th ST  
COLUMBIA, BOONE COUNTY, MISSOURI

DRAWING INCLUDES:

SECOND FLOOR  
DEMO PLAN

DESIGNED: GLL

DRAWN: RCA

CEC PROJECT NO.: 240246

SHEET:

D102

LIGHT FIXTURE LEGEND

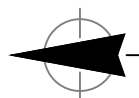
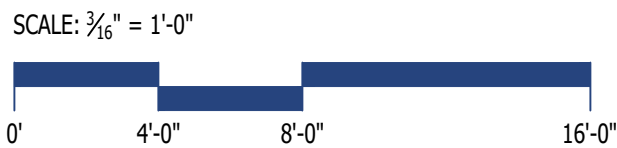
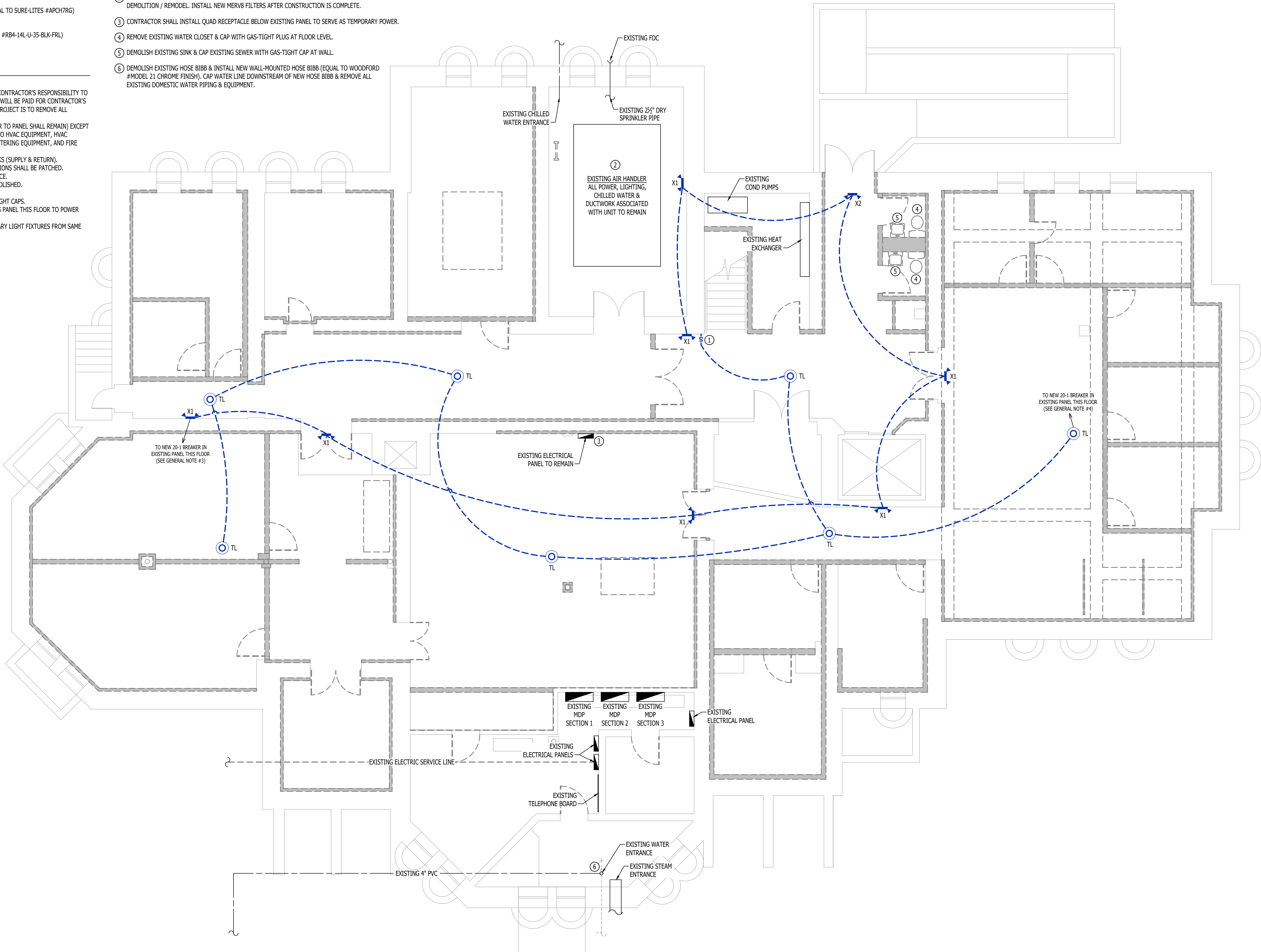
- X1 LED EMERGENCY EGRESS LIGHT (EQUAL TO SURE-LITES #SEL60)
- X2 COMBINATION LED EXIT SIGN & EMERGENCY LIGHT (EQUAL TO SURE-LITES #APCH7RG)
- TL TEMPORARY LIGHTING - ROUND HIGH BAY (EQUAL TO ILP #RB4-14L-U-35-BLK-FRL)

MECHANICAL - ELECTRICAL PLAN GENERAL NOTES:

- ALL ITEMS LABELED AS EXISTING ARE TO REMAIN IN SERVICE.
- REFER TO 1974 PRINTS FOR APPROXIMATE EXISTING CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE & UNDERSTAND THE SCOPE OF WORK. NO CHANGE ORDERS WILL BE PAID FOR CONTRACTOR'S FAILURE TO UNDERSTAND COMPLETE SCOPE OF WORK. THE INTENT OF THIS PROJECT IS TO REMOVE ALL MATERIALS BACK TO THE ORIGINAL STRUCTURE.
- 2.1. ALL ELECTRICAL SHALL BE REMOVED BACK TO PANELS (PANELS & FEEDER TO PANEL SHALL REMAIN) EXCEPT FOR FEEDS TO ELEVATOR, ITEMS ASSOCIATED WITH ELEVATOR, FEEDS TO HVAC EQUIPMENT, HVAC CONTROLS, LIGHTING IN MECHANICAL ROOMS, CONDENSATE PUMPS, METERING EQUIPMENT, AND FIRE ALARM DEVICES.
- 2.2. ALL HVAC BRANCH DUCTWORK IS TO BE REMOVED BACK TO MAIN TRUNKS (SUPPLY & RETURN).
- 2.3. ALL EXHAUST DUCTWORK IS TO BE REMOVED. ANY EXTERIOR PENETRATIONS SHALL BE PATCHED.
- 2.4. ALL EXISTING STEAM & CHILLED WATER PIPING SHALL REMAIN IN SERVICE.
- 2.5. ALL ABOVE GRADE PLUMBING NOT CONCEALED IN WALLS SHALL BE DEMOLISHED.
- 2.6. EXISTING WATER SERVICE ENTRANCE & METERING SHALL REMAIN.
- 2.7. ALL SEWER LINES SHALL BE CAPPED AT FLOORS OR WALLS WITH GAS-TIGHT CAPS.
3. CONTRACTOR SHALL INSTALL NEW 20 AMP SINGLE POLE BREAKER IN EXISTING PANEL THIS FLOOR TO POWER TEMPORARY EMERGENCY LIGHTING.
4. HANG TEMPORARY LIGHTS 6" BELOW CEILING STRUCTURE. FEED ALL TEMPORARY LIGHT FIXTURES FROM SAME CIRCUIT AS TEMPORARY EMERGENCY LIGHTING.
5. ALL WIRING MAY BE DONE IN MC CABLE STRAPPED TO STRUCTURE.

MECHANICAL ELECTRICAL PLAN KEY NOTES:

- INSTALL NEW SWITCH TO CONTROL TEMPORARY LIGHTING FIXTURES (MARK 'TL') ON THIS LEVEL.
- INSTALL CONSTRUCTION FILTERS ON RETURN AIR OPENINGS OF EXISTING AIR HANDLER FOR DURATION OF DEMOLITION / REMODEL. INSTALL NEW MERV8 FILTERS AFTER CONSTRUCTION IS COMPLETE.
- CONTRACTOR SHALL INSTALL QUAD RECEPTACLE BELOW EXISTING PANEL TO SERVE AS TEMPORARY POWER.
- REMOVE EXISTING WATER CLOSET & CAP WITH GAS-TIGHT PLUG AT FLOOR LEVEL.
- DEMOLISH EXISTING SINK & CAP EXISTING SEWER WITH GAS-TIGHT CAP AT WALL.
- DEMOLISH EXISTING HOSE BIBB & INSTALL NEW WALL-MOUNTED HOSE BIBB (EQUAL TO WOODFORD #MODEL 21 CHROME FINISH). CAP WATER LINE DOWNSTREAM OF NEW HOSE BIBB & REMOVE ALL EXISTING DOMESTIC WATER PIPING & EQUIPMENT.



MECHANICAL ELECTRICAL PLAN - BASEMENT

SCALE: 3/16" = 1'-0"

J2 PROJECT No:	J21522
J2 DESIGN:	JAP
ISSUE TITLE	DATE
100% DD	03 - 19 - 2025
100% CD REVIEW	04 - 04 - 2025
BID SET	04 - 24 - 2025

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

# CP242862 - Pickard Hall - Phase 1 - Selective Demolition & RAD Characterization

405 S 9th St, Columbia, MO 65201



LIGHT FIXTURE LEGEND

- X1

LED EMERGENCY EGRESS LIGHT (EQUAL TO SURE-LITES #SEL60)
- X2

COMBINATION LED EXIT SIGN & EMERGENCY LIGHT (EQUAL TO SURE-LITES #APCH7RG)
- TL

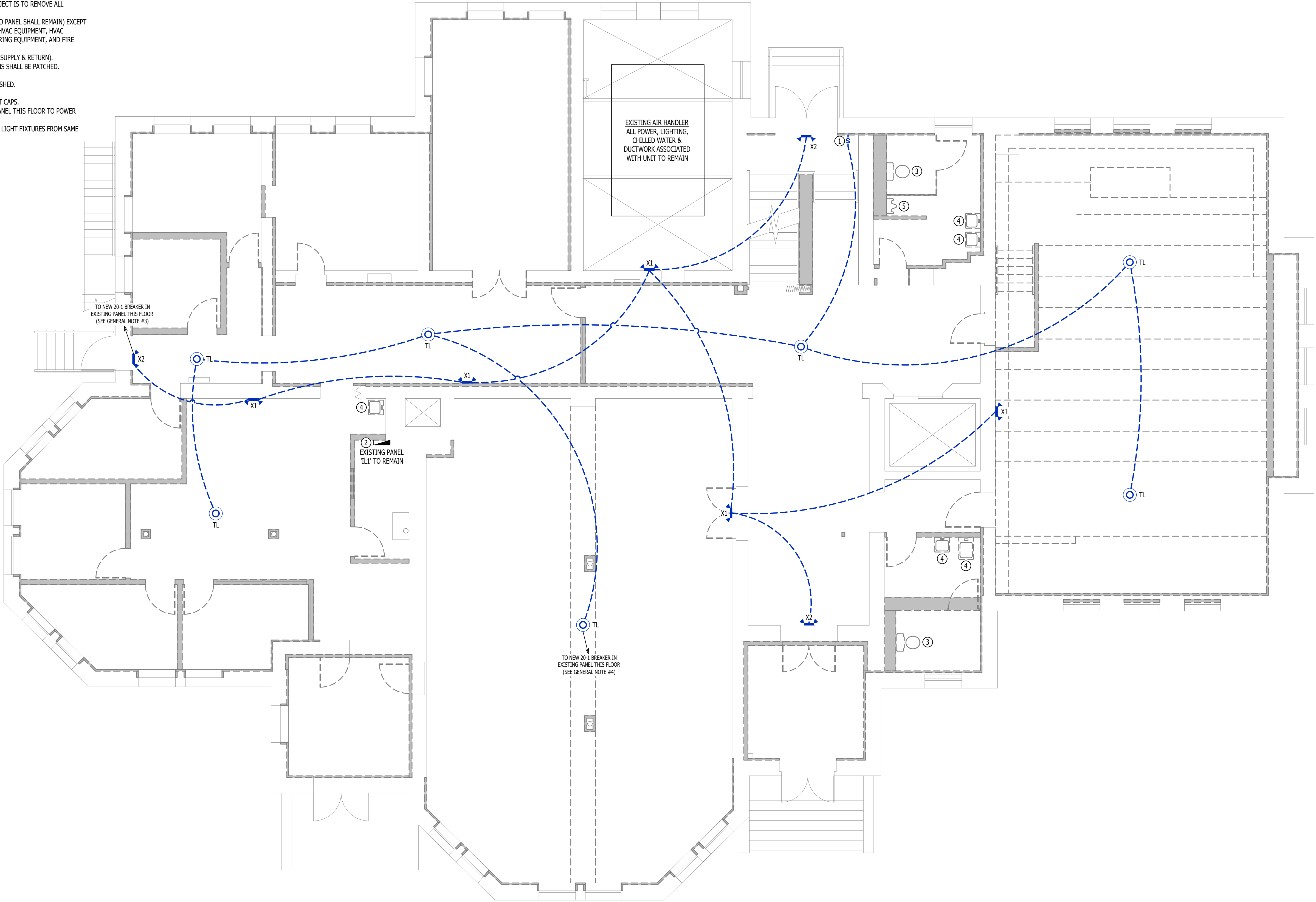
TEMPORARY LIGHTING - ROUND HIGH BAY (EQUAL TO ILP #RB4-14L-U-35-BLK-FRL)

MECHANICAL - ELECTRICAL PLAN GENERAL NOTES:

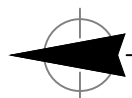
1. ALL ITEMS LABELED AS EXISTING ARE TO REMAIN IN SERVICE.
2. REFER TO 1974 PRINTS FOR APPROXIMATE EXISTING CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE & UNDERSTAND THE SCOPE OF WORK. NO CHANGE ORDERS WILL BE PAID FOR CONTRACTOR'S FAILURE TO UNDERSTAND COMPLETE SCOPE OF WORK. THE INTENT OF THIS PROJECT IS TO REMOVE ALL MATERIALS BACK TO THE ORIGINAL STRUCTURE.
- 2.1. ALL ELECTRICAL SHALL BE REMOVED BACK TO PANELS (PANELS & FEEDER TO PANEL SHALL REMAIN) EXCEPT FOR FEEDS TO ELEVATOR, ITEMS ASSOCIATED WITH ELEVATOR, FEEDS TO HVAC EQUIPMENT, HVAC CONTROLS, LIGHTING IN MECHANICAL ROOMS, CONDENSATE PUMPS, METERING EQUIPMENT, AND FIRE ALARM DEVICES.
- 2.2. ALL HVAC BRANCH DUCTWORK IS TO BE REMOVED BACK TO MAIN TRUNKS (SUPPLY & RETURN).
- 2.3. ALL EXHAUST DUCTWORK IS TO BE REMOVED. ANY EXTERIOR PENETRATIONS SHALL BE PATCHED.
- 2.4. ALL EXISTING STEAM & CHILLED WATER PIPING SHALL REMAIN IN SERVICE.
- 2.5. ALL ABOVE GRADE PLUMBING NOT CONCEALED IN WALLS SHALL BE DEMOLISHED.
- 2.6. EXISTING WATER SERVICE ENTRANCE & METERING SHALL REMAIN.
- 2.7. ALL SEWER LINES SHALL BE CAPPED AT FLOORS OR WALLS WITH GAS-TIGHT CAPS.
3. CONTRACTOR SHALL INSTALL NEW 20 AMP SINGLE POLE BREAKER IN EXISTING PANEL THIS FLOOR TO POWER TEMPORARY EMERGENCY LIGHTING.
4. HANG TEMPORARY LIGHTS 6" BELOW CEILING STRUCTURE. FEED ALL TEMPORARY LIGHT FIXTURES FROM SAME CIRCUIT AS TEMPORARY EMERGENCY LIGHTING.
5. ALL WIRING MAY BE DONE IN MC CABLE STRAPPED TO STRUCTURE.

MECHANICAL ELECTRICAL PLAN KEY NOTES:

- ① INSTALL NEW SWITCH TO CONTROL TEMPORARY LIGHTING FIXTURES (MARK 'TL') ON THIS LEVEL.
- ② CONTRACTOR SHALL INSTALL QUAD RECEPTACLE BELOW EXISTING PANEL TO SERVE AS TEMPORARY POWER.
- ③ REMOVE EXISTING WATER CLOSET & CAP WITH GAS-TIGHT PLUG AT FLOOR LEVEL.
- ④ DEMOLISH EXISTING SINK & CAP EXISTING SEWER WITH GAS-TIGHT CAP AT WALL.
- ⑤ DEMOLISH EXISTING URINAL & CAP EXISTING SEWER WITH GAS-TIGHT CAP AT WALL.

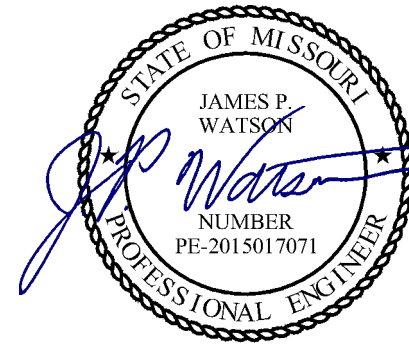


SCALE: 3/16" = 1'-0"

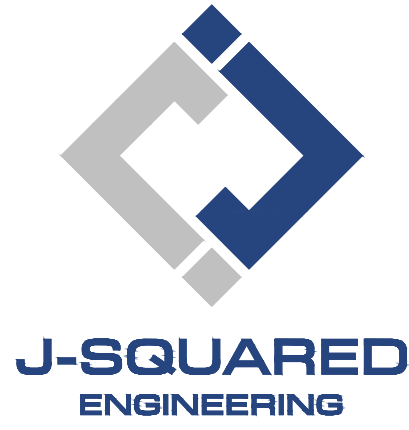


MECHANICAL ELECTRICAL PLAN - FIRST FLOOR

SCALE: 3/16" = 1'-0"



James Watson, P.E. April 24, 2025  
PE-2015017071  
MO Certificate of Authority # 2018029680



2400 Bluff Creek Drive, Suite 101  
Columbia, Missouri 65201  
573.234.4492  
www.j-squaredeng.com

J2 PROJECT No: J21522

J2 DESIGN: JAP

ISSUE TITLE DATE

100% DD 03 - 19 - 2025

100% CD REVIEW 04 - 04 - 2025

BID SET 04 - 24 - 2025

LIGHT FIXTURE LEGEND

- X1

LED EMERGENCY EGRESS LIGHT (EQUAL TO SURE-LITES #SEL60)
- X2

COMBINATION LED EXIT SIGN & EMERGENCY LIGHT (EQUAL TO SURE-LITES #APCH7RG)
- TL

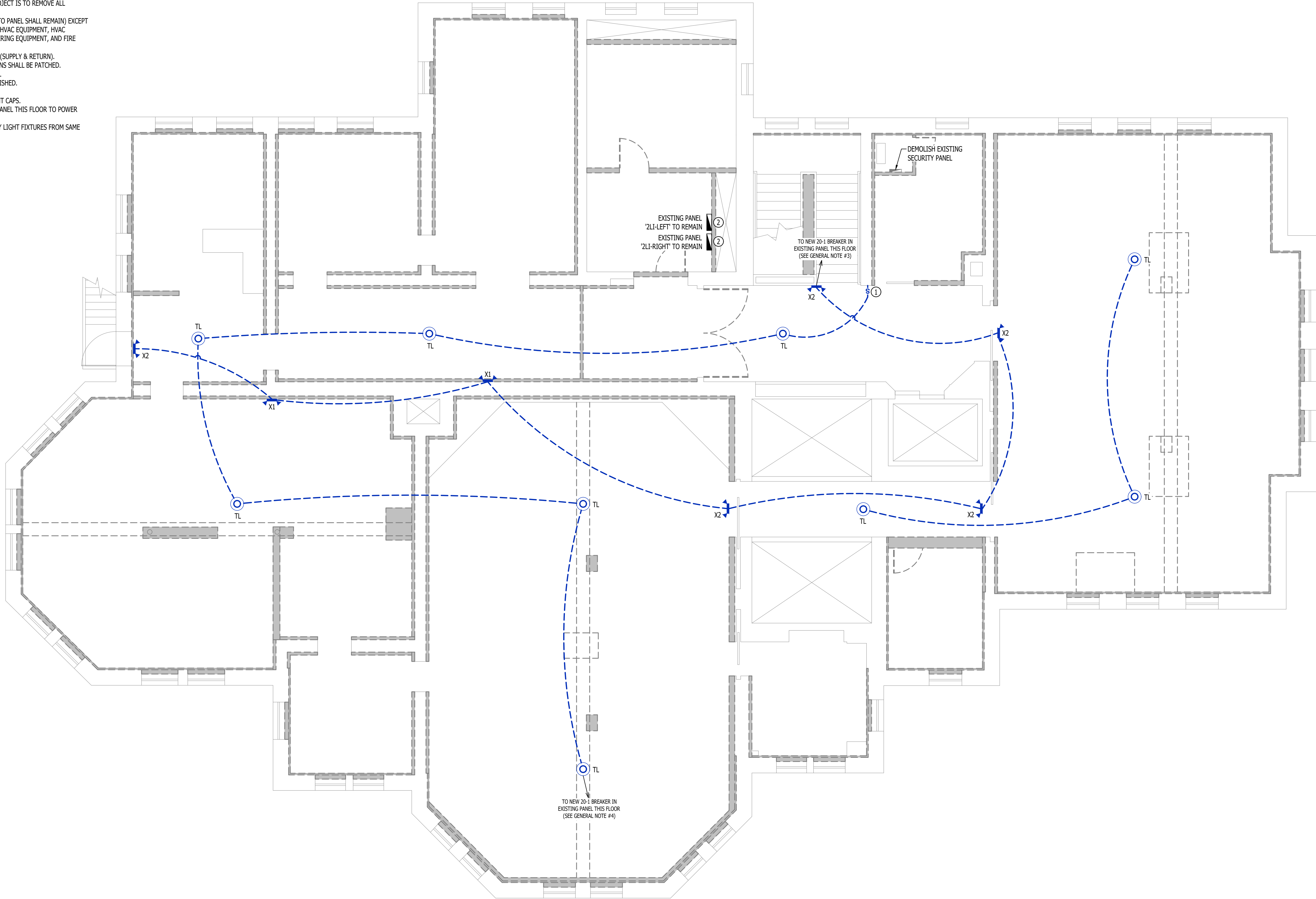
TEMPORARY LIGHTING - ROUND HIGH BAY (EQUAL TO 1LP #RB4-14L-U-35-BLK-FRL)

MECHANICAL - ELECTRICAL PLAN GENERAL NOTES:

1. ALL ITEMS LABELED AS EXISTING ARE TO REMAIN IN SERVICE.
2. REFER TO 1974 PRINTS FOR APPROXIMATE EXISTING CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE & UNDERSTAND THE SCOPE OF WORK. NO CHANGE ORDERS WILL BE PAID FOR CONTRACTOR'S FAILURE TO UNDERSTAND COMPLETE SCOPE OF WORK. THE INTENT OF THIS PROJECT IS TO REMOVE ALL MATERIALS BACK TO THE ORIGINAL STRUCTURE.
- 2.1. ALL ELECTRICAL SHALL BE REMOVED BACK TO PANELS (PANELS & FEEDER TO PANEL SHALL REMAIN) EXCEPT FOR FEEDS TO ELEVATOR, ITEMS ASSOCIATED WITH ELEVATOR, FEEDS TO HVAC EQUIPMENT, HVAC CONTROLS, LIGHTING IN MECHANICAL ROOMS, CONDENSATE PUMPS, METERING EQUIPMENT, AND FIRE ALARM DEVICES.
- 2.2. ALL HVAC BRANCH DUCTWORK IS TO BE REMOVED BACK TO MAIN TRUNKS (SUPPLY & RETURN).
- 2.3. ALL EXHAUST DUCTWORK IS TO BE REMOVED. ANY EXTERIOR PENETRATIONS SHALL BE PATCHED.
- 2.4. ALL EXISTING STEAM & CHILLED WATER PIPING SHALL REMAIN IN SERVICE.
- 2.5. ALL ABOVE GRADE PLUMBING NOT CONCEALED IN WALLS SHALL BE DEMOLISHED.
- 2.6. EXISTING WATER SERVICE ENTRANCE & METERING SHALL REMAIN.
- 2.7. ALL SEWER LINES SHALL BE CAPPED AT FLOORS OR WALLS WITH GAS-TIGHT CAPS.
3. CONTRACTOR SHALL INSTALL NEW 20 AMP SINGLE POLE BREAKER IN EXISTING PANEL THIS FLOOR TO POWER TEMPORARY EMERGENCY LIGHTING.
4. HANG TEMPORARY LIGHTS 6" BELOW CEILING STRUCTURE. FEED ALL TEMPORARY LIGHT FIXTURES FROM SAME CIRCUIT AS TEMPORARY EMERGENCY LIGHTING.
5. ALL WIRING MAY BE DONE IN MC CABLE STRAPPED TO STRUCTURE.

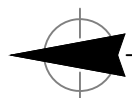
MECHANICAL ELECTRICAL PLAN KEY NOTES:

- ① INSTALL NEW SWITCH TO CONTROL TEMPORARY LIGHTING FIXTURES (MARK 'TL') ON THIS LEVEL.
- ② CONTRACTOR SHALL INSTALL QUAD RECEPTACLE BELOW EXISTING PANEL TO SERVE AS TEMPORARY POWER.



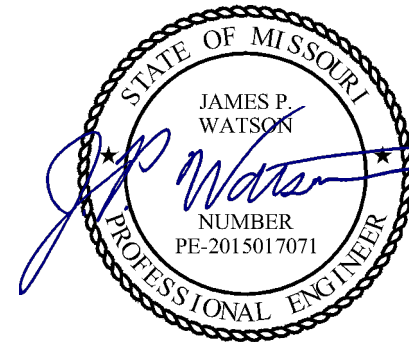
SCALE: 3/16" = 1'-0"

0' 4'-0" 8'-0" 16'-0"

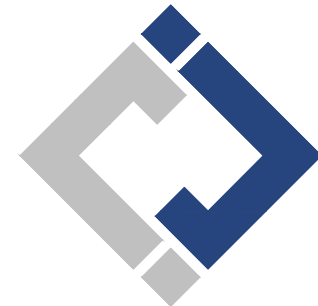


MECHANICAL ELECTRICAL PLAN - SECOND FLOOR

SCALE: 3/16" = 1'-0"



James Watson, P.E. April 24, 2025  
PE-2015017071  
MO Certificate of Authority # 2018029680



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J2 PROJECT No: J21522

J2 DESIGN: JAP

ISSUE TITLE DATE

100% DD 03 - 19 - 2025

100% CD REVIEW 04 - 04 - 2025

BID SET 04 - 24 - 2025

MECHANICAL - ELECTRICAL - PLUMBING DESIGN DRAWINGS FOR:

# CP242862 - Pickard Hall - Phase 1 - Selective Demolition & RAD Characterization

405 S 9th St, Columbia, MO 65201

SHEET TITLE

MECHANICAL  
ELECTRICAL PLAN -  
SECOND FLOOR

SHEET NUMBER

ME103



DEFERRED SUBMITTAL NOTES

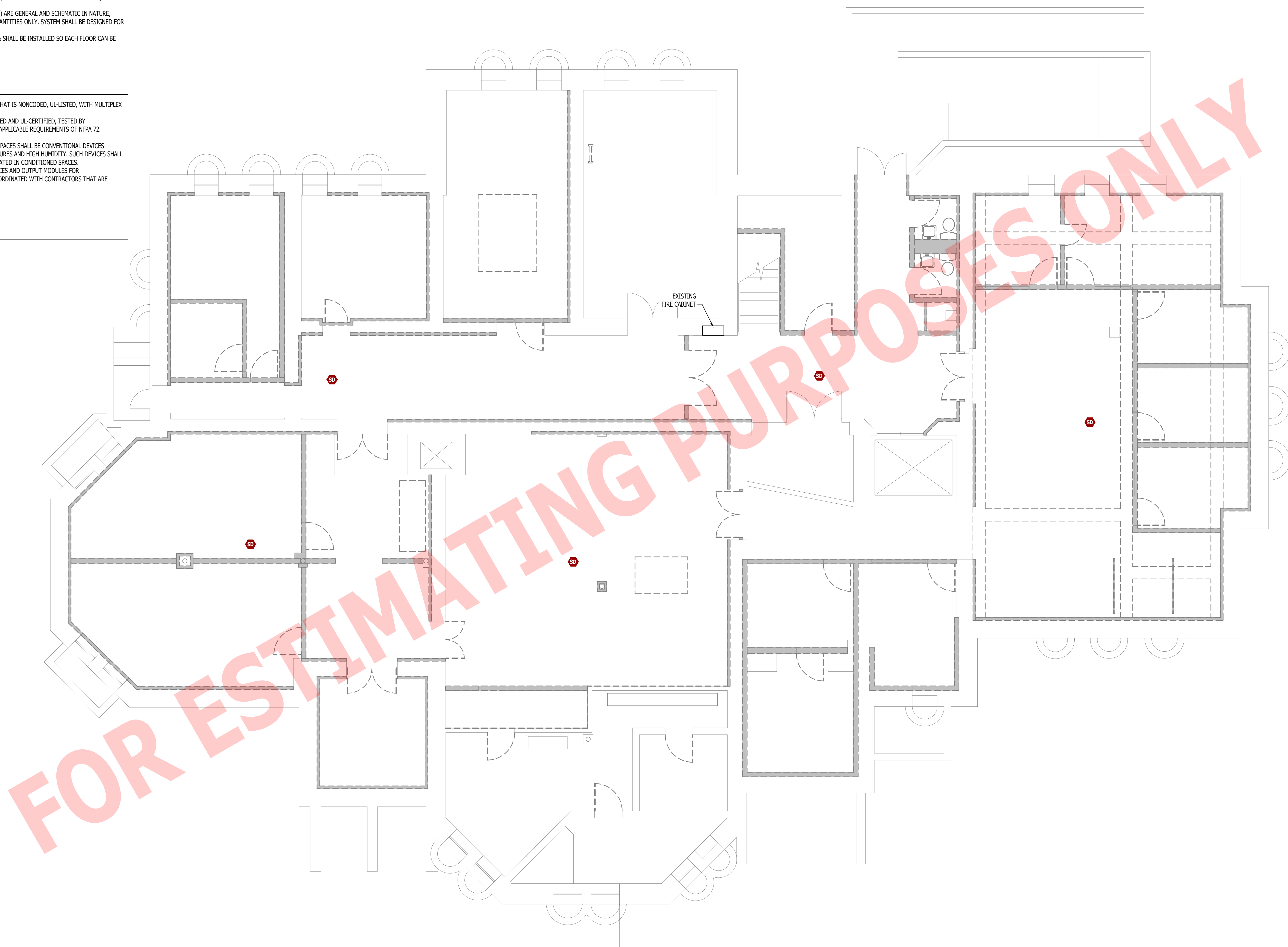
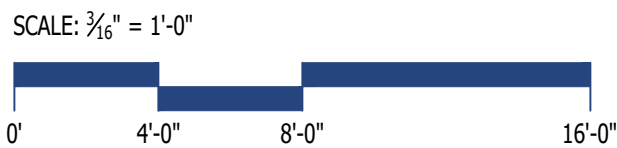
1. FIRE ALARM CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR FIRE ALARM SYSTEM. SUBMITTAL SHALL INCLUDE BATTERY CALCULATIONS, VOLTAGE DROP CALCULATIONS, EQUIPMENT SPECIFICATIONS FOR DEVICES AND PANELS, ETC.
2. FIRE ALARM SYSTEM COMPONENTS SHOWN (IF APPLICABLE) ARE GENERAL AND SCHEMATIC IN NATURE, SHOWN FOR APPROXIMATE ROUGH-IN LOCATIONS AND QUANTITIES ONLY. SYSTEM SHALL BE DESIGNED FOR AN UNOCCUPIED BUILDING / BUILDING SHELL.
3. FIRE ALARM SHALL BE INSTALLED PRIOR TO DEMOLITION & SHALL BE INSTALLED SO EACH FLOOR CAN BE TAKEN OFFLINE INDEPENDENT OF EACH OTHER.

FIRE ALARM SYSTEM SPECIFICATIONS

1. FIRE ALARM SYSTEM SHALL BE AN ADDRESSABLE SYSTEM THAT IS NONCODED, UL-LISTED, WITH MULTIPLEX SIGNAL TRANSMISSION AND HORN/STROBE EVACUATION.
2. EVERY FIRE ALARM SYSTEM COMPONENT SHALL BE UL-LISTED AND UL-CERTIFIED, TESTED BY MANUFACTURERS AS A COMPLETE SYSTEM, AND MEET ALL APPLICABLE REQUIREMENTS OF NFPA 72.
3. ALL FIRE ALARM WIRING TO BE PLENUM RATED.
4. ALL INITIATING DEVICES INSTALLED IN UNCONDITIONED SPACES SHALL BE CONVENTIONAL DEVICES SUITABLE FOR USE IN EXTREME HIGH AND LOW TEMPERATURES AND HIGH HUMIDITY. SUCH DEVICES SHALL BE SUPERVISED BY ADDRESSABLE MONITOR MODULES LOCATED IN CONDITIONED SPACES.
5. QUANTITIES, TYPES, AND LOCATIONS OF INITIATING DEVICES AND OUTPUT MODULES FOR INTERCONNECTION WITH FIRE SUPPRESSION MUST BE COORDINATED WITH CONTRACTORS THAT ARE RESPONSIBLE FOR THOSE SYSTEMS.


FIRE ALARM PLAN SYMBOL LEGEND

- F** MANUAL PULL STATION
- M** MODULE
- O** OUTPUT MODULE
- SD** SMOKE DETECTOR
- HD** HEAT DETECTOR
- CO** CARBON MONOXIDE DETECTOR
- S** STROBE - CEILING MOUNT
- SW** STROBE - WALL MOUNT
- HS** HORN STROBE - WALL MOUNT
- CS** HORN STROBE - CEILING MOUNT
- SS** SPEAKER STROBE - WALL MOUNT
- CS** SPEAKER STROBE - CEILING MOUNT
- T** TAMPER SWITCH
- WF** WATER FLOW SWITCH
- FACP** FIRE ALARM CONTROL PANEL
- ANN** FIRE ALARM ANNUNCIATOR



**FIRE ALARM PLAN - BASEMENT**  
SCALE: 3/16" = 1'-0"

FOR ESTIMATING  
PURPOSES ONLY



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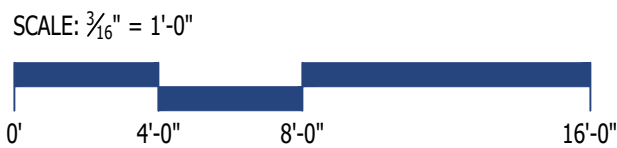
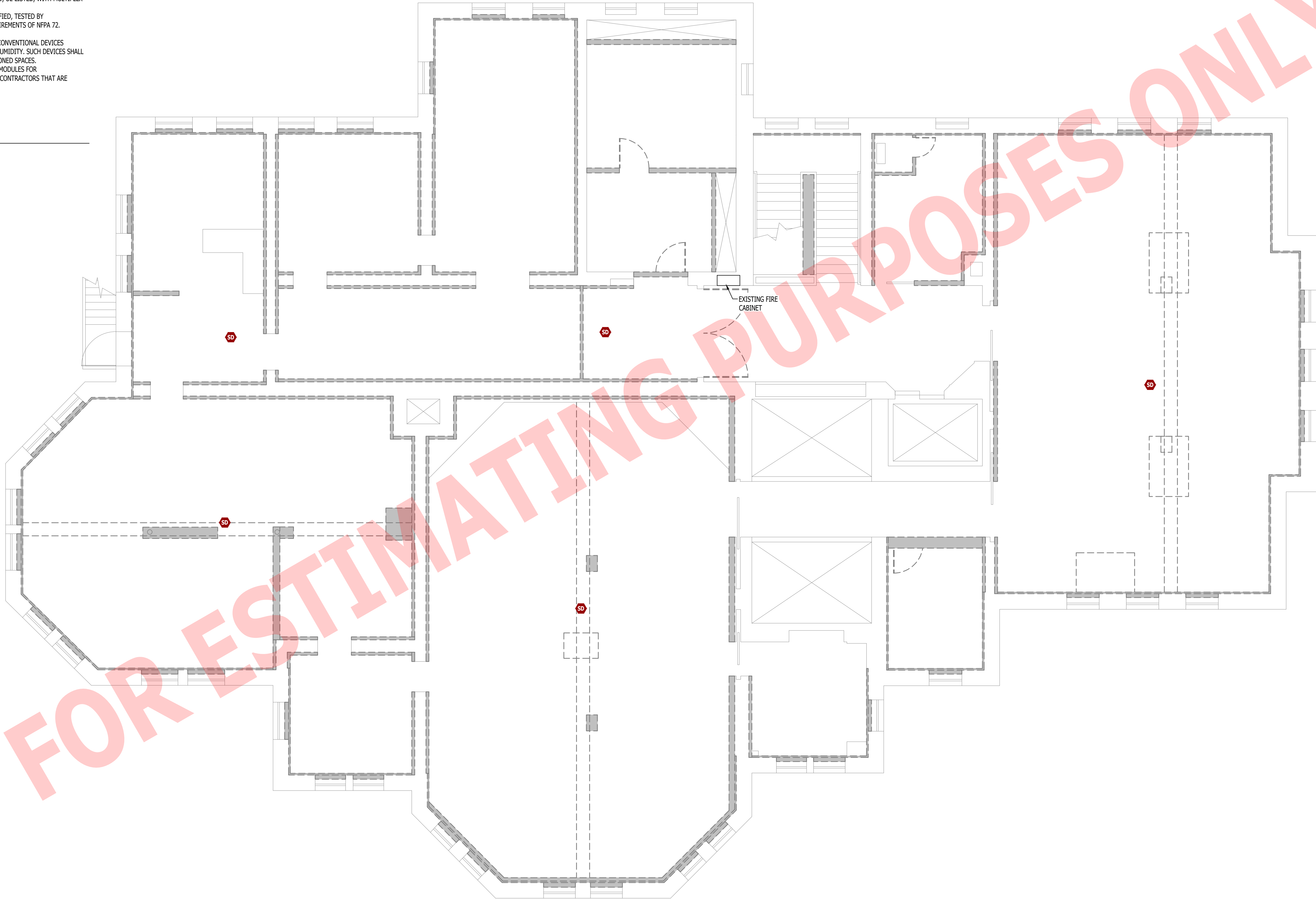
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| <b>ANN</b>  | FIRE ALARM ANNUNCIATOR         |



FIRE ALARM PLAN - SECOND FLOOR

SCALE: 3/16" = 1'-0"

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SHEET TITLE

**FIRE ALARM PLAN -  
SECOND FLOOR**

SHEET NUMBER

**FA103**