

STAGING & TRAFFIC CONTROL PLAN NOTES

- TRAFFIC CONTROL DEVICES AND TEMPORARY TRAFFIC CONTROL PLANS SHALL BE PER THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- MODIFY THE TEMPORARY TRAFFIC CONTROL PLAN TO ACCOMMODATE CONSTRUCTION MEANS & METHODS, SEQUENCING, AND TECHNIQUES OR PROCEDURES. MODIFICATIONS TO THE TEMPORARY TRAFFIC CONTROL PLAN SHALL BE
 - COORDINATED WITH THE OWNER'S REPRESENTATIVE
 - COORDINATED BY THE CONTRACTOR WITH THE CITY OF COLUMBIA
 - APPROVED IN WRITING BY THE CITY OF COLUMBIA PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY REQUIRED PERMITS AND COORDINATING CITY PERMIT TIMELINES WITH CONSTRUCTION SCHEDULING.
- MONITOR TRAFFIC FLOW THROUGH THE WORK ZONE AND MAKE ADJUSTMENTS TO THE TRAFFIC CONTROL PLAN AS REQUIRED.
- SIDEWALK CLOSURE SIGNS AND FENCING ARE TO REMAIN IN PLACE ONLY WHILE WORK IS ACTIVE. RE-OPEN SIDEWALK TO PEDESTRIAN TRAFFIC AS SOON AS POSSIBLE.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL CONSTRUCTION SIGNS, BARRICADES, AND FENCING. AT REGULAR INTERVALS, CHECK TO ENSURE SIGNS REMAIN IN-PLACE AND ARE LEGIBLE.
- PROVIDE CONSTRUCTION FENCING, WITH SCREENING FABRIC, AROUND WORKSPACE. SEE SPECIAL CONDITIONS IN THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- PROTECT EXISTING SIDEWALK & CURB FROM EQUIPMENT OR OTHER CONSTRUCTION DAMAGE. AT CLOSE OF PROJECT REPAIR ANY DAMAGED CONCRETE. VERIFY AGAINST PRE-CONSTRUCTION PHOTOGRAPHS.

STAGING & TRAFFIC CONTROL PLAN LEGEND

- 1 "SIDEWALK CLOSED AHEAD CROSS HERE"
R9-11 SIGN
- 2 "SIDEWALK CLOSED"
R9-9 SIGN
- 3 STANDARD HIGHWAY SIGN - MIN. 24"x24"
W20-1 SIGN
- 4 STANDARD HIGHWAY SIGN - MIN. 24"x24"
W1-4R SIGN
- 5 STANDARD HIGHWAY SIGN - MIN. 24"x24"
W1-4L SIGN
- 6 STOP SIGN - MIN. 24"x24"
R1-1 SIGN
PROVIDE MIN. 6'-0" TALL POLE SUPPORT ON ANCHORED BASE
- 7 CHANNELIZER CONE/MARKER @ 36" TALL MIN. ; PROVIDE W/ REFLECTIVE BANDS

WORK AREA FENCING: OUTSIDE POWER PLANT GROUNDS, PROVIDE CHAIN LINK FENCE PANELS, MIN. 6'-0" TALL, SUPPORTED ON WEIGHTED TEE STANDS, PROVIDE SCREEN FABRIC. SET AS SHOWN IN DRAWINGS, MAINTAIN THROUGHOUT PROJECT. COORDINATE WITH OWNER'S REPRESENTATIVE.



PROJECT SITE:
POWER PLANT
SOUTH 5TH STREET
& EAST STEWART ROAD
COLUMBIA, MO.

LOCATION MAP
SCALE: N.T.S.

STAGING & TRAFFIC CONTROL PLAN SCOPE-OF-WORK NOTES

- A CONTRACTOR PARKING - MAX. 2 VEHICLES. COORDINATE ON-SITE WITH OWNER'S REPRESENTATIVE
- B CONTRACTOR STAGING AREA - 15'-0" x 50'-0"±. COORDINATE ON-SITE WITH OWNER'S REPRESENTATIVE.

SEE G003 FOR ADDITIONAL NOTES.

	LARGE SCALE	SMALL SCALE	
BRICK MASONRY UNIT			PLAN, SECTION ELEVATION
CONCRETE MASONRY UNIT			PLAN, SECTION ELEVATION
CONCRETE			PLAN, SECTION ELEVATION
GYPSUM BOARD			PLAN, SECTION ELEVATION
GROUTED AREA OF CMU/CAVITY/DOOR FRAME			PLAN, SECTION ELEVATION
MISCELLANEOUS ITEMS AS NOTED ON EACH SHEET			PLAN, SECTION, ELEVATION
INSULATION			PLAN, SECTION ELEVATION
ROOF SHINGLES			PLAN, SECTION, ELEVATION
CONTINUOUS WOOD FRAMING			PLAN, SECTION ELEVATION
WOOD BLOCKING			PLAN, SECTION ELEVATION
PLYWOOD			PLAN, SECTION ELEVATION
EXISTING BUILDING			PLAN, SECTION ELEVATION

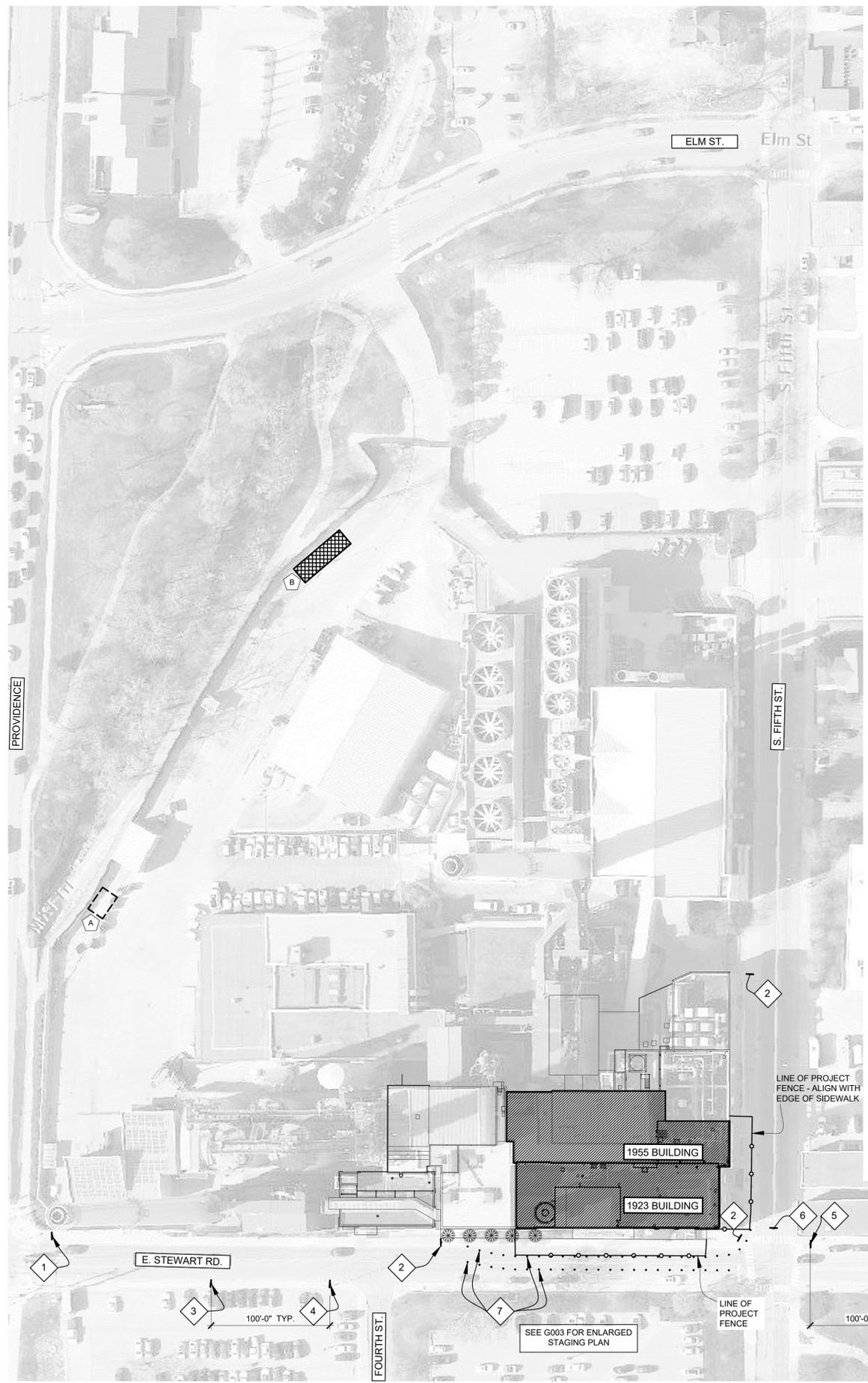
MATERIAL LEGEND
SCALE: N.T.S.

SHEET INDEX

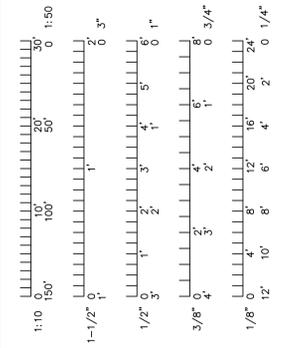
- G001 COVER SHEET
- G002 LOCATION MAP, TRAFFIC CONTROL PLAN, LIST OF DRAWINGS, LEGENDS
- G003 STAGING PLANS & PROTECTION DETAILS
- A201 BUILDING ELEVATIONS
- A202 BUILDING ELEVATIONS
- A203 BUILDING ELEVATIONS
- A501 DETAILS
- A502 DETAILS
- A503 DETAILS - INFILL @ NORTH WALL
- A701 PHOTOS
- A702 PHOTOS

DRAWING BULLET WITH NORTH ARROW		GRID REFERENCE
DRAWING TITLE SCALE: X"X" = 1'-0"		ARCH. SCALE
DRAWING BULLET WITHOUT NORTH ARROW		GRID REFERENCE
DRAWING TITLE SCALE: X"X" = 1'-0"		ARCH. SCALE
PAGE FIRST REFERENCED (IF APPLICABLE)		
ELEVATION BULLETS	PLANE/ELEVATION DETAIL BULLET	
ONE ELEVATION		
PHOTOGRAPH BULLETS	SECTION BULLET	
SCOPE OF WORK BULLET	NORTH ARROW	
WINDOW BULLET	DOOR BULLET	
REVISION NOTE	GENERAL NOTE	
BENCHMARK BULLET	SPOT ELEV. BULLETS	

SYMBOL LEGEND
SCALE: N.T.S.



TRAFFIC CONTROL & STAGING PLAN
SCALE: N.T.S.



BUILDING CODE (IBC 2021)

- THIS IS AN EXTERIOR MAINTENANCE AND/OR REPAIR PROJECT.
- NO NEW AREA IS BEING ADDED.
 - THERE IS NO CHANGE TO THE EXISTING USE OR OCCUPANCY OF ANY OF THE BUILDINGS.
 - THERE IS NO CHANGE TO EGRESS.

SPECIAL INSPECTIONS (IBC 1704):
THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION:
- CONCRETE GROUT DESIGN MIX - PERIODIC
- CONCRETE MASONRY AND REINFORCING STEEL - CONTINUOUS FOR CELL GROUTING - PERIODIC FOR REINFORCING
REQUEST SPECIAL INSPECTION OF THE ITEMS LISTED ABOVE PRIOR TO THOSE ITEMS BECOMING UNACCESSIBLE AND UNOBSERVABLE DUE TO PROGRESS OF THE WORK.
DEFERRED SUBMITTALS: NO DEFERRED SUBMITTALS ARE REQUIRED ON THIS PROJECT.

LIST OF APPLICABLE CODES

- INTERNATIONAL BUILDING CODE - 2021
- INTERNATIONAL PLUMBING CODE - 2021
- INTERNATIONAL MECHANICAL CODE - 2021
- INTERNATIONAL FIRE CODE - 2021
- NATIONAL ELECTRIC CODE/NFPA 70 - 2020
- NFPA 110 STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS - 2019
- NFPA 72 NATIONAL FIRE ALARM CODE - 2019
- NFPA 518 STANDARD FOR FIRE PREVENTION DURING WELDING, CUTTING, AND OTHER HOT WORK - 2019
- ASHRAE 90.1 - ENERGY STANDARD FOR BUILDINGS - 2019
- AMERICANS WITH DISABILITIES ACT - STANDARDS FOR ACCESSIBLE DESIGN 2010

Peckham & Wright Architects, Inc., d.b.a.
PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 573.449.2683
Peckham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



Project CP24241
**POWER PLANT - 1923 & 1955
BRICK AND MORTAR REPAIRS**
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	ER	Project Number:	202411
Checked:	ER	CAD File Name (Number):	G002.DWG

Drawing Title:
LOCATION MAP, TRAFFIC CONTROL PLAN, LIST OF DRAWINGS, LEGENDS

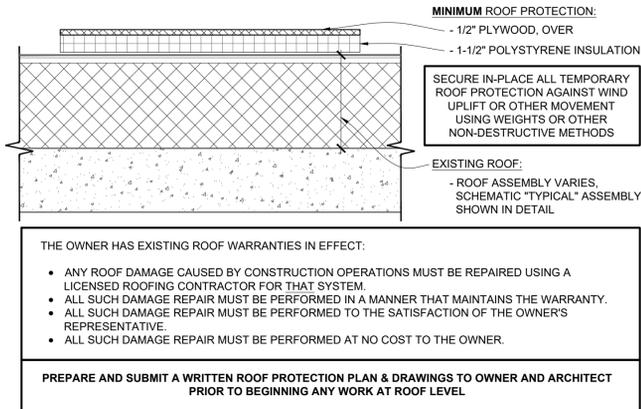
No.	Revisions:	Date:

Submission Date:	12/11/2024	Drawing Number:	G002
Plot Date:	12/02/2024		

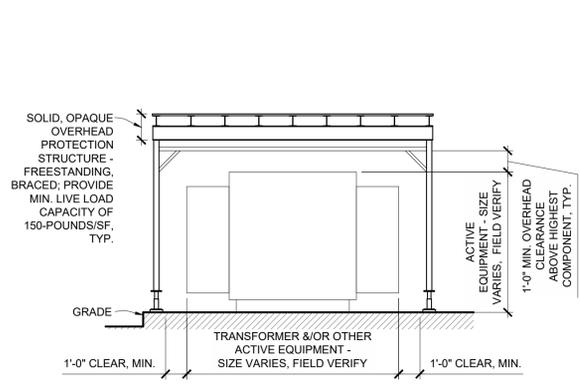
GENERAL SITE PLAN & STAGING NOTES

- FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HERE-IN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY. THESE DRAWINGS CONVEY THE DESIGN INTENT ONLY.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
- REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
- PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
- PROVIDE CONSTRUCTION FENCING, WITH BLACK SCREENING FABRIC, AROUND WORKSPACE. SEE SPECIAL CONDITIONS IN THE PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- PROTECT EXISTING SIDEWALK & CURB FROM EQUIPMENT OR OTHER CONSTRUCTION DAMAGE. AT CLOSE OF PROJECT REPAIR ANY DAMAGED CONCRETE; VERIFY AGAINST PRE-CONSTRUCTION PHOTOGRAPHS.

- FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
- NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
- PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
- PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD. WHEN APPROVED BY THE OWNER'S REPRESENTATIVE A SINGLE ENTRANCE MAY BE TEMPORARILY CLOSED WHILE OVERHEAD WORK IS BEING COMPLETED. ONLY ONE ENTRANCE MAY BE CLOSED AT A TIME.
- COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
- DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.
- UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.
- OFFLOAD ALL MATERIALS AT DESIGNATED AREA. MOVE ALL DELIVERY VEHICLES FROM SITE IMMEDIATELY AFTER OFFLOADING.



K8 TYP. ROOF PROTECTION DETAIL
SCALE: 1-1/2" = 1'-0"



K12 OVERHEAD PROTECTION @ EQUIPMENT
SCALE: 1/4" = 1'-0"

STAGING & TRAFFIC CONTROL PLAN LEGEND

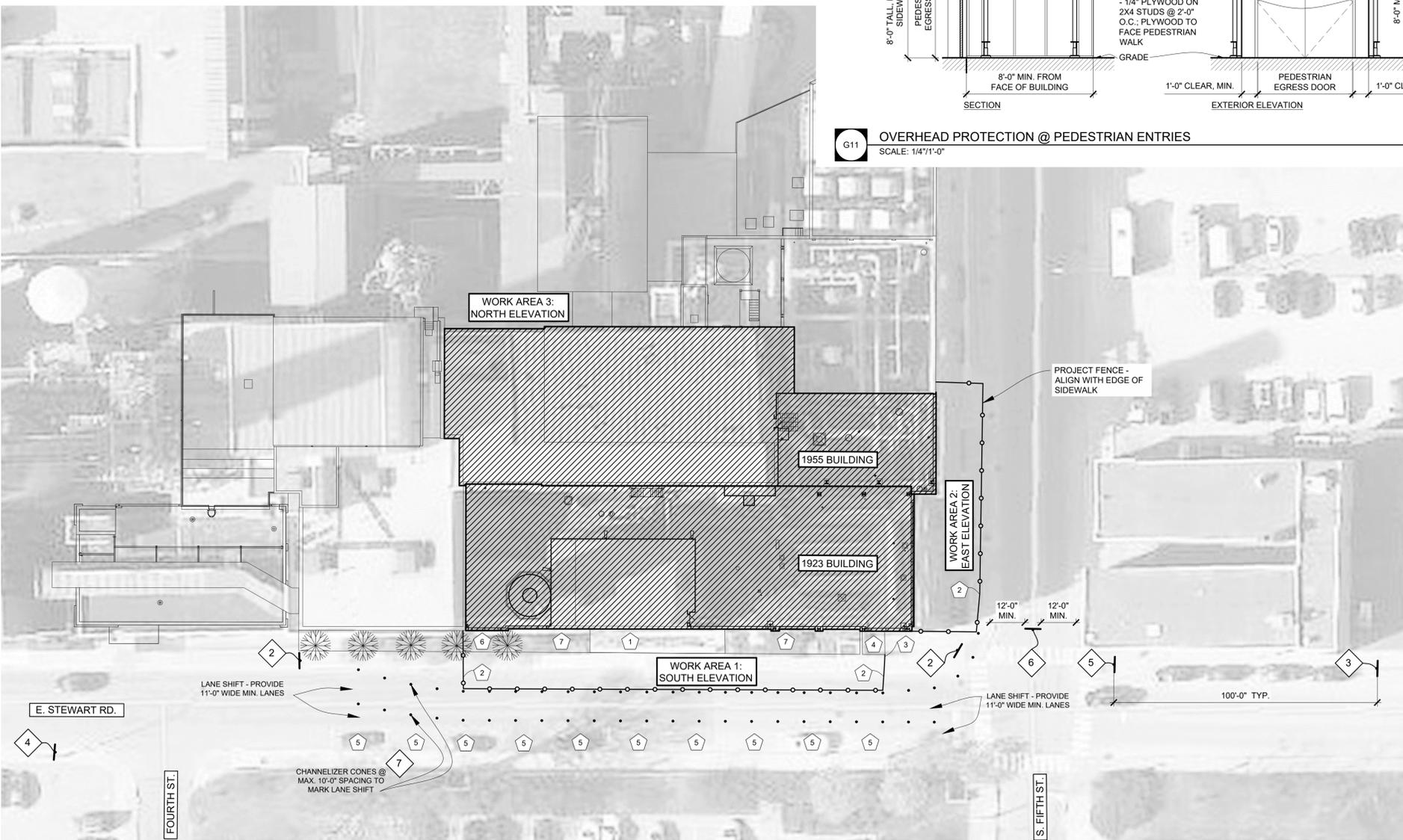
- 1** "SIDEWALK CLOSED AHEAD CROSS HERE" R9-11 SIGN
 - 2** "SIDEWALK CLOSED" R9-9 SIGN
 - 3** STANDARD HIGHWAY SIGN - MIN. 24"x24" W20-1 SIGN
 - 4** STANDARD HIGHWAY SIGN - MIN. 24"x24" W1-4R SIGN
 - 5** STANDARD HIGHWAY SIGN - MIN. 24"x24" W1-4L SIGN
 - 6** STOP SIGN - MIN. 24"x24" R1-1 SIGN
 - 7** CHANNELIZER CONE/MARKER @ 36" TALL MIN.; PROVIDE W/ REFLECTIVE BANDS
- WORK AREA FENCING: OUTSIDE POWER PLANT GROUNDS, PROVIDE CHAIN LINK FENCE PANELS, MIN. 6'-0" TALL, SUPPORTED ON WEIGHTED TEE STANDS; PROVIDE SCREEN FABRIC. SET AS SHOWN IN DRAWINGS. MAINTAIN THROUGHOUT PROJECT. COORDINATE WITH OWNER'S REPRESENTATIVE.**

PROJECT PHASING

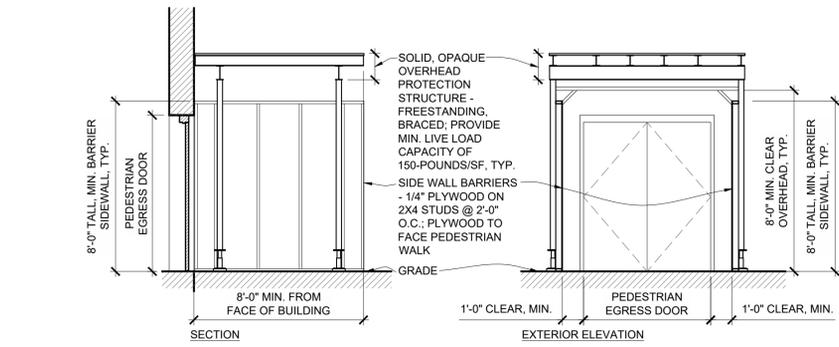
- WORK MAY NOT BEGIN ON STEWART AVENUE OR FIFTH STREET UNTIL AFTER MAY 19, 2025.
- WORK AREA 1 - SOUTH ELEVATION ALONG STEWART AVENUE: ALL WORK MUST BE COMPLETED AND FENCING MUST BE REMOVED BY AUGUST 8, 2025.
- WORK AREA 2 - ALL WORK AT WORK AREA 1 TO BE COMPLETED PRIOR TO SETTING FENCE AND TRAFFIC CONTROL FOR WORK AREA 2; COORDINATE WITH OWNER'S REPRESENTATIVE.
- WORK AREA 3 - WORK MAY BE COMPLETED AT ANY TIME.

A4/G003 - ENLARGED STAGING PLAN SCOPE-OF-WORK NOTES

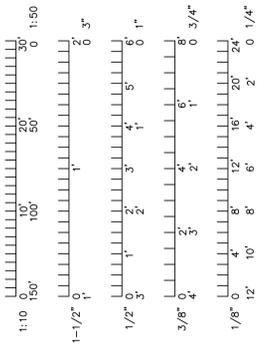
- GAS MAIN BEHIND ALUMINUM FENCE AND JERSEY BARRIERS. WHEN WORKING IN THIS AREA, PROTECT THE GAS MAIN PER OVERHEAD PROTECTION DETAIL K12/G003. PROVIDE PROTECTION FOR EXISTING FENCING; FENCING AND JERSEY BARRIERS TO REMAIN IN PLACE.
- LINE OF PROJECT FENCE
- FIELD COORDINATE PLACEMENT OF FENCE TO MAINTAIN:
 - EMERGENCY EGRESS FROM THE POWER PLANT ENTRY
 - COORDINATE ANY LIMITED CLOSURES WITH THE OWNER'S REPRESENTATIVE.
- WHEN WORKING OVERHEAD IN THIS AREA, PROVIDE OVERHEAD PROTECTION @ THE POWER PLANT ENTRY DOOR - SEE G11/G003 FOR TYP. DETAIL
- PURCHASE METER BAGS FOR DURATION OF ROAD CLOSURE ON STEWART
- LANDSCAPE SERVICES WILL PRUNE EXISTING TREES TO PROVIDE MINIMUM 4'-0" CLEARANCE BETWEEN THE TREE CANOPY AND BUILDING; COORDINATE WITH OWNER'S REPRESENTATIVE FOR ANY ADDITIONAL PRUNING WORK.
- LANDSCAPE SERVICES WILL PRUNE EXISTING BUSHES BACK TO PROVIDE ACCESS TO BASE OF BUILDING; COORDINATE WITH OWNER'S REPRESENTATIVE FOR ANY ADDITIONAL PRUNING WORK.



A4 ENLARGED STAGING PLAN
SCALE: N.T.S.



G11 OVERHEAD PROTECTION @ PEDESTRIAN ENTRIES
SCALE: 1/4" = 1'-0"



PWArchitects, Inc.
 2120 Forum Blvd., Ste. 101
 Columbia, Missouri 65203
 PWArchitects.com | 573.449.2683
 Missouri State Certificate of Authority No. 000244

Professional Engineer Seal for **Michael J. Peckham**, State of Missouri, No. 000244, dated 2024.12.11.



Project CP24241
POWER PLANT - 1923 & 1955 BRICK AND MORTAR REPAIRS
 COLUMBIA, MO
 University of Missouri
 For: The Curators of the University of Missouri

Drawn:	ER	Project Number:	202411
Checked:	ER	CAD File Name (Number):	G003.DWG

Drawing Title:	
STAGING PLANS & PROTECTION DETAILS	
No.	Revisions:
Date:	

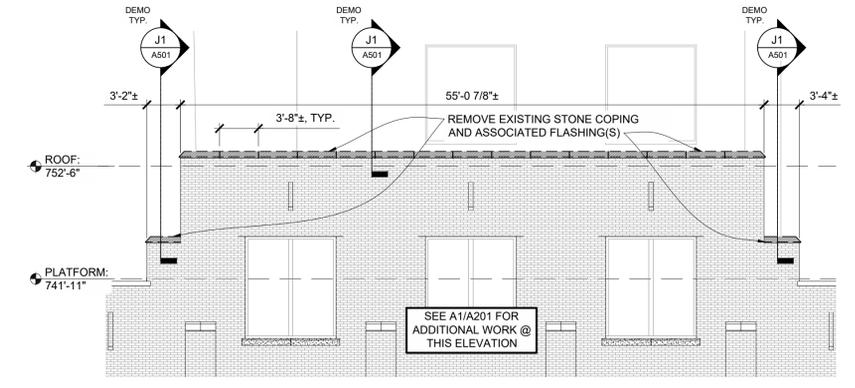
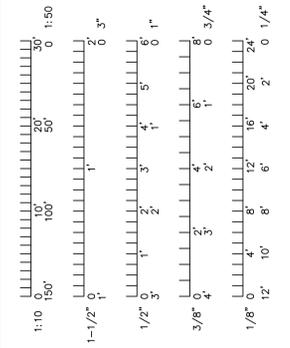
Submission Date:	12/11/2024	Drawing Number:	G003
Plot Date:	12/02/2024		

GENERAL ELEVATION NOTES

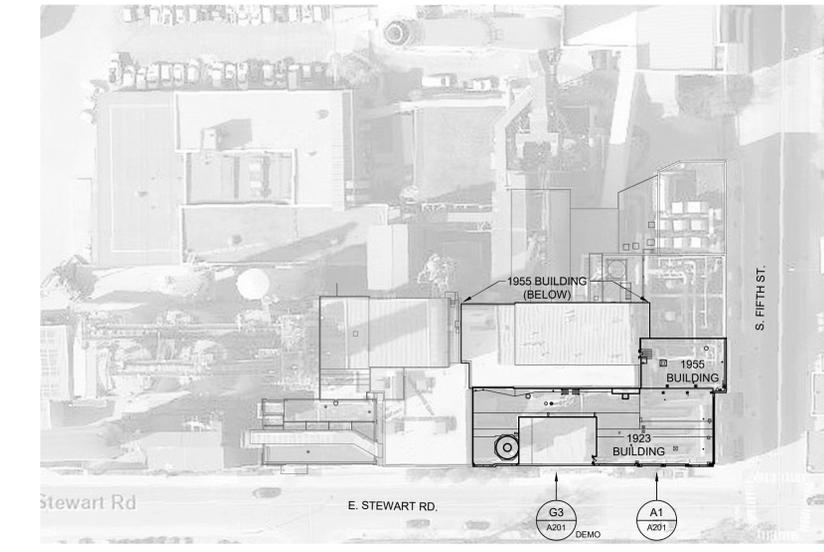
- FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HEREIN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY. THESE DRAWINGS CONVEY THE DESIGN INTENT ONLY.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
- REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
- PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK. FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
- FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
- PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
- NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
- PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
- PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD; SEE G11/G003 FOR TYPICAL OVERHEAD PROTECTION DETAIL.
- COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
- DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FURTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE; RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER, PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK.
- LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.
- UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.
- SEE WALL SECTIONS FOR ADDITIONAL DETAILS, MATERIALS, NOTES, AND DIMENSION.
- MAINTAIN WEATHER TIGHT BUILDING ENVELOPE. DO NOT LEAVE WORK AREAS UNPROTECTED FROM ENVIRONMENTAL CONDITIONS.

SCOPE OF WORK NOTES & KEY

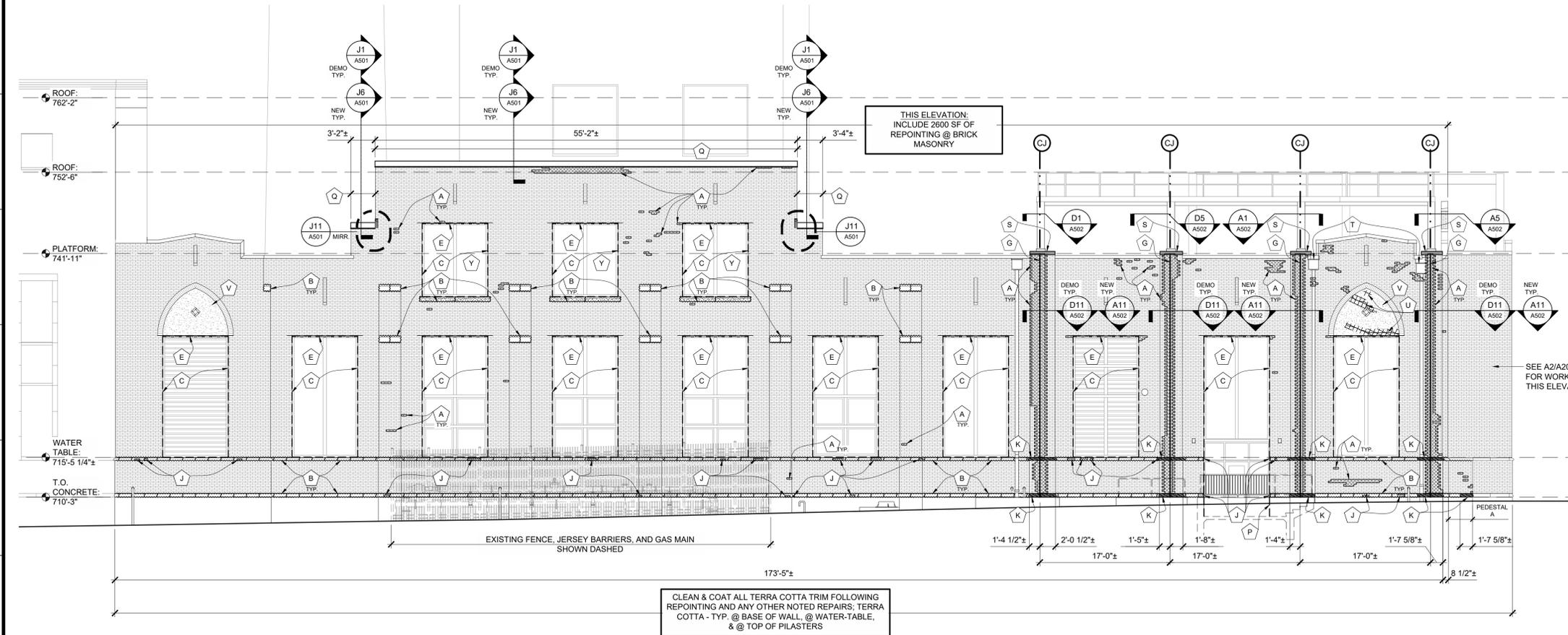
- A** REPLACE DEFECTIVE BRICK; REFER TO UNIT PRICING FOR OVERALL QUANTITIES INCLUDED.
- B** REPOINT JOINTS WITH NEW "RAKE AND SEAL" (SEALANT OVER RAKED MORTAR) JOINTS. SEE (E1 A501)
- C** REMOVE EXISTING SEALANT AND BACKING MATERIAL @ PERIMETERS OF INDICATED OPENING. @ EXISTING COUNTERFLASHING(S), AND/OR @ TERMINATION BAR(S); INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER.
- D** REPOINT LINTEL/LEDGE ANGLE WITH SEALANT AND BACKER ROD; INSTALL NEW WEEP TUBES @ 24" O.C. HORIZONTAL. MIN. SEE (K1 A502)
- E** EXISTING LINTEL: REMOVE ANY LOOSE SCALE & RUST, CLEAN LINTEL, PRIME & REPAINT.
- F** RESET EXISTING COUNTERFLASHING; INSTALL STAINLESS STEEL TERMINATION BAR W/ SEALANT RECEIVER OVER TOP EDGE OF EXISTING COUNTERFLASHING; PROVIDE FASTENERS @ MAX. 8" O.C., TYP.
- G** INSTALL NEW CONTROL JOINT IN OUTER WYTHE OF MASONRY. SEE (A11 A502, D11 A502, G11 A502, K11 A502)
- H** REMOVE EXISTING SEALANT & BACKER @ CONTROL JOINT. REPOINT JOINT WITH SEALANT & BACKER ROD/BOND BREAKER. SEE (G1 A501)
- I** REPLACE DAMAGED PRECAST TRIM W/ NEW PRECAST TO MATCH. FOR TYP. PROFILES SEE: (A1 A501, A4 A501)
- J** REPAIR DAMAGED TERRA COTTA TRIM W/ TERRA COTTA REPAIR MORTAR; REFER TO UNIT PRICING FOR OVERALL QUANTITIES INCLUDED.
- K** REPLACE TERRA COTTA TRIM W/ NEW PRECAST TRIM TO MATCH - TYP. @ NEW CONTROL JOINTS; ALIGN PRECAST JOINT W/ NEW CJ - TYP. WHERE INDICATED @ DAMAGED TERRA COTTA - FOR TYP. PROFILES SEE: (C4 A501, C7 A501, A7 A501)
- L** REMOVE CORRODED METAL ANCHOR, DEBRIS, ETC.; REPOINT DAMAGED MORTAR
- M** INSTALL NEW PRE-FINISHED METAL FLASHING W/ TOOLED SEALANT - SEE (E4 A501)
- N** CUT MIN. 3/8" X 3/4" RABBIT IN FACE OF BRICK, IN LINE W/ EXISTING CRACK; INSTALL NEW MORTAR JOINT
- O** PROVIDE MIN. 3/4" SOFT JOINT BETWEEN TOP OF BRICK AND BOTTOM OF EXISTING STEEL; INSTALL NEOPRENE FILLER, BACKER ROD/BOND BREAKER, & CONTINUOUS TOOLED SEALANT JOINT
- P** PATCH DAMAGED CONCRETE WITH CONCRETE REPAIR MORTAR - SEE: (J7 A701, J7 A702)
- Q** REMOVE EXISTING STONE COPING @ ASSOCIATED FLASHING(S); INSTALL NEW TREATED WOOD BLOCKING, FLASHING(S), & PRE-MANUFACTURED METAL COPING
- R** TEMPORARILY REMOVE EXISTING COPING & BLOCKING TO MINIMUM EXTENT POSSIBLE - FOR INSTALLATION OF NEW CONTROL JOINT AND/OR REPLACEMENT OF BRICK AT BACK OF PARAPET; REINSTALL EXISTING COPING & BLOCKING W/ NEW SEALANT @ SAME LOCATION.
- S** REMOVE EXISTING METAL CAP AT TOP OF PILASTER/PIER. CLEAN & REMOVE CORROSION AT BASE OF STEEL COLUMN. PRIME & PAINT. INSTALL NEW PRE-FINISHED BRAKE METAL CAP & PITCH POCKET. SEE: (E1 A701, E4 A701, E7 A701, E10 A701, A1 A502, A5 A502, D1 A502, D5 A502)
- T** TEMPORARILY REMOVE CONDUCTOR HEAD, DOWNSPOUT, & STRAP HANGERS; SALVAGE, STORE, & REINSTALL AT SAME LOCATION AT END OF PROJECT
- U** SOUND & REMOVE ANY LOOSE OR DAMAGED PLASTER; SCRIBE PLASTER @ CRACKS, REMOVING EXISTING MATERIAL TO SOUND SURFACE, RE-PLASTER.
- V** REPAIR PLASTER WHERE NOTED; FOLLOWING REPAIR - CLEAN, PRIME, & PAINT ENTIRE PLASTER SURFACE. TEMPORARILY MASK EXISTING EXPOSED BRICK TO PREVENT STAINING BY PLASTER/PAINT.
- W** TEMPORARILY MOVE EXISTING LIGHTNING PROTECTION CABLE FOR WORK IN THIS AREA. REINSTALL CABLE AT SAME LOCATION, W/ EXISTING ANCHORS OR SIMILAR.
- X** REMOVE BRICK TO EXPOSE LINTEL; REMOVE & REPLACE EXISTING LINTEL
- Y** APPLY FIBERGLASS GLAZED PANEL COATING TO EXTERIOR FACE OF FIBERGLASS GLAZED PANELS.



G3 DEMO: 1923 BUILDING - PARTIAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



G9 KEY PLAN
SCALE: N.T.S.



A1 1923 BUILDING - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 573.449.2683

Peckham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



M

Project CP242421
POWER PLANT - 1923 & 1955
BRICK AND MORTAR REPAIRS
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn: ER	Project Number: 202411
Checked: ER	CAD File Name (Number): A20X-30X-50X.DWG
Drawing Title: BUILDING ELEVATIONS	
No. Revisions:	Date:
Submission Date: 12/11/2024	Drawing Number: A201
Plot Date: 12/02/2024	

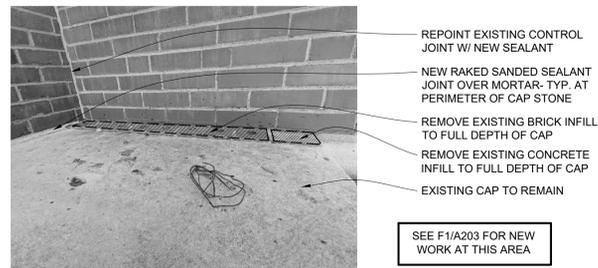
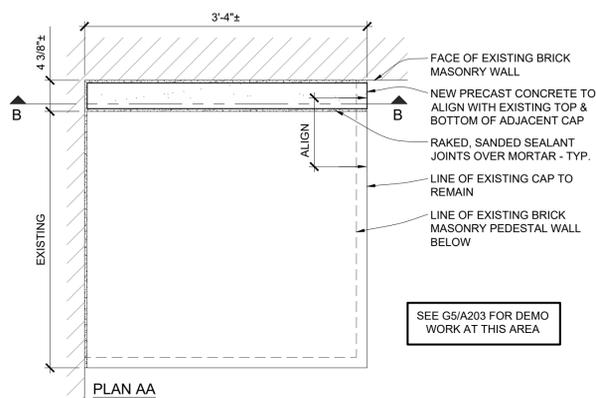
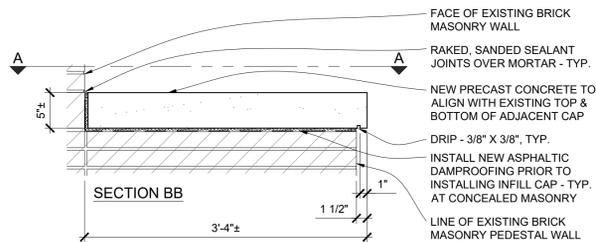
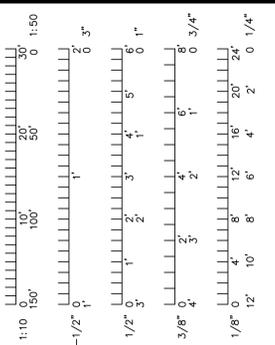
GENERAL ELEVATION NOTES

- FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HERE-IN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY. THESE DRAWINGS CONVEY THE DESIGN INTENT ONLY.
- FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
- REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
- PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
- FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
- PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
- NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
- PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
- PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD; SEE G11/G003 FOR TYPICAL OVERHEAD PROTECTION DETAIL.
- COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
- DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FURTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST

- TO THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE; RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER, PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK.
- LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.
- UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.
- SEE WALL SECTIONS FOR ADDITIONAL DETAILS, MATERIALS, NOTES, AND DIMENSION.
- MAINTAIN WEATHER TIGHT BUILDING ENVELOPE. DO NOT LEAVE WORK AREAS UNPROTECTED FROM ENVIRONMENTAL CONDITIONS.

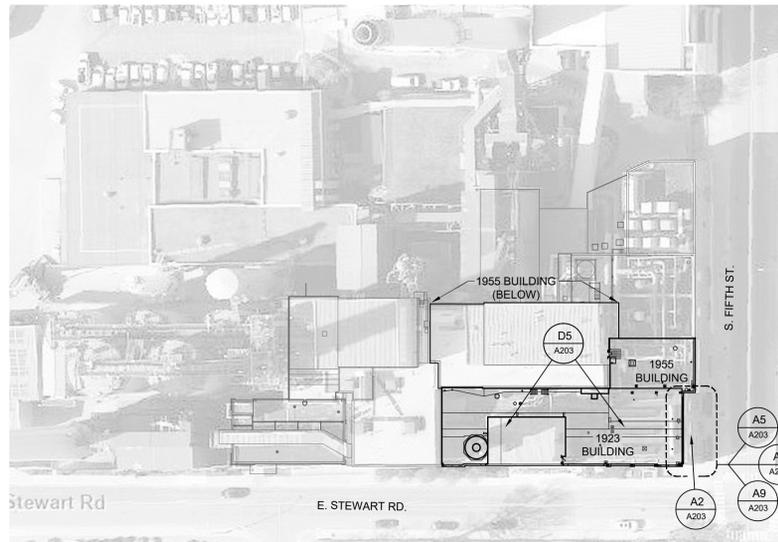
SCOPE OF WORK NOTES & KEY

- A** REPLACE DEFECTIVE BRICK; REFER TO UNIT PRICING FOR OVERALL QUANTITIES INCLUDED.
- B** REPOINT JOINTS WITH NEW "RAKE AND SEAL" (SEALANT OVER RAKED MORTAR) JOINTS. SEE E1 A501
- C** REMOVE EXISTING SEALANT AND BACKING MATERIAL @ PERIMETERS OF INDICATED OPENING. @ EXISTING COUNTERFLASHING(S), AND/OR @ TERMINATION BAR(S); INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER.
- D** REPOINT LINTEL/EDGE ANGLE WITH SEALANT AND BACKER ROD; INSTALL NEW WEEP TUBES @ 24" O.C. HORIZONTAL. MIN. SEE K1 A502
- E** EXISTING LINTEL: REMOVE ANY LOOSE SCALE & RUST; CLEAN LINTEL, PRIME & REPAINT.
- F** RESET EXISTING COUNTERFLASHING; INSTALL STAINLESS STEEL TERMINATION BAR W/ SEALANT RECEIVER OVER TOP EDGE OF EXISTING COUNTERFLASHING; PROVIDE FASTENERS @ MAX. 8" O.C., TYP.
- G** INSTALL NEW CONTROL JOINT IN OUTER WYTHE OF MASONRY. SEE A11 A502, D11 A502, G11 A502, K11 A502
- H** REMOVE EXISTING SEALANT & BACKER @ CONTROL JOINT. REPOINT JOINT WITH SEALANT & BACKER ROD/BOND BREAKER. SEE G1 A501
- I** REPLACE DAMAGED PRECAST TRIM W/ NEW PRECAST TO MATCH. FOR TYP. PROFILES SEE: A1 A501, A4 A501
- J** REPAIR DAMAGED TERRA COTTA TRIM W/ TERRA COTTA REPAIR MORTAR; REFER TO UNIT PRICING FOR OVERALL QUANTITIES INCLUDED.
- K** REPLACE TERRA COTTA TRIM W/ NEW PRECAST TRIM TO MATCH. @ NEW CONTROL JOINTS; ALIGN PRECAST JOINT W/ NEW CJ. TYP. WHERE INDICATED @ DAMAGED TERRA COTTA. FOR TYP. PROFILES SEE: C4 A501, C7 A501, A7 A501
- L** REMOVE CORRODED METAL ANCHOR, DEBRIS, ETC.; REPOINT DAMAGED MORTAR.
- M** INSTALL NEW PRE-FINISHED METAL FLASHING W/ TOOLED SEALANT - SEE E4 A501
- N** CUT MIN. 3/8" X 3/4" RABBIT IN FACE OF BRICK, IN LINE W/ EXISTING CRACK; INSTALL NEW MORTAR JOINT
- O** PROVIDE MIN. 3/4" SOFT JOINT BETWEEN TOP OF BRICK AND BOTTOM OF EXISTING STEEL; INSTALL NEOPRENE FILLER, BACKER ROD/BOND BREAKER, & CONTINUOUS TOOLED SEALANT JOINT
- P** PATCH DAMAGED CONCRETE WITH CONCRETE REPAIR MORTAR - SEE: J7 A701, J7 A702
- Q** REMOVE EXISTING STONE COPING @ ASSOCIATED FLASHING(S); INSTALL NEW TREATED WOOD BLOCKING, FLASHING(S), & PRE-MANUFACTURED METAL COPING
- R** TEMPORARILY REMOVE EXISTING COPING & BLOCKING TO MINIMUM EXTENT POSSIBLE - FOR INSTALLATION OF NEW CONTROL JOINT AND/OR REPLACEMENT OF BRICK AT BACK OF PARAPET; REINSTALL EXISTING COPING & BLOCKING W/ NEW SEALANT @ SAME LOCATION.
- S** REMOVE EXISTING METAL CAP AT TOP OF PILASTER/PIER; CLEAN & REMOVE CORROSION AT BASE OF STEEL COLUMN, PRIME & PAINT. INSTALL NEW PRE-FINISHED BRAKE METAL CAP & PITCH POCKET. SEE: E1 A701, E4 A701, E7 A701, E10 A701, A1 A502, A5 A502, D1 A502, D5 A502
- T** TEMPORARILY REMOVE CONDUCTOR HEAD, DOWNSPOUT, & STRAP HANGERS; SALVAGE, STORE, & REINSTALL AT SAME LOCATION AT END OF PROJECT.
- U** SOUND & REMOVE ANY LOOSE OR DAMAGED PLASTER; SCRIBE PATTERN @ CRACKS, REMOVING EXISTING MATERIAL TO SOUND SURFACE, RE-PLASTER.
- V** REPAIR PLASTER WHERE NOTED; FOLLOWING REPAIR - CLEAN, PRIME, & PAINT ENTIRE PLASTER SURFACE. TEMPORARILY MASK EXISTING EXPOSED BRICK TO PREVENT STAINING BY PLASTER/PAINT.
- W** TEMPORARILY MOVE EXISTING LIGHTNING PROTECTION CABLE FOR WORK IN THIS AREA. REINSTALL CABLE AT SAME LOCATION, W/ EXISTING ANCHORS OR SIMILAR.
- X** REMOVE BRICK TO EXPOSE LINTEL; REMOVE & REPLACE EXISTING LINTEL.
- Y** APPLY FIBERGLASS GLAZED PANEL COATING TO EXTERIOR FACE OF FIBERGLASS GLAZED PANELS.



- REPOINT EXISTING CONTROL JOINT W/ NEW SEALANT
- NEW RAKED SANDED SEALANT JOINT OVER MORTAR- TYP. AT PERIMETER OF CAP STONE
- REMOVE EXISTING BRICK INFILL TO FULL DEPTH OF CAP
- REMOVE EXISTING CONCRETE INFILL TO FULL DEPTH OF CAP
- EXISTING CAP TO REMAIN

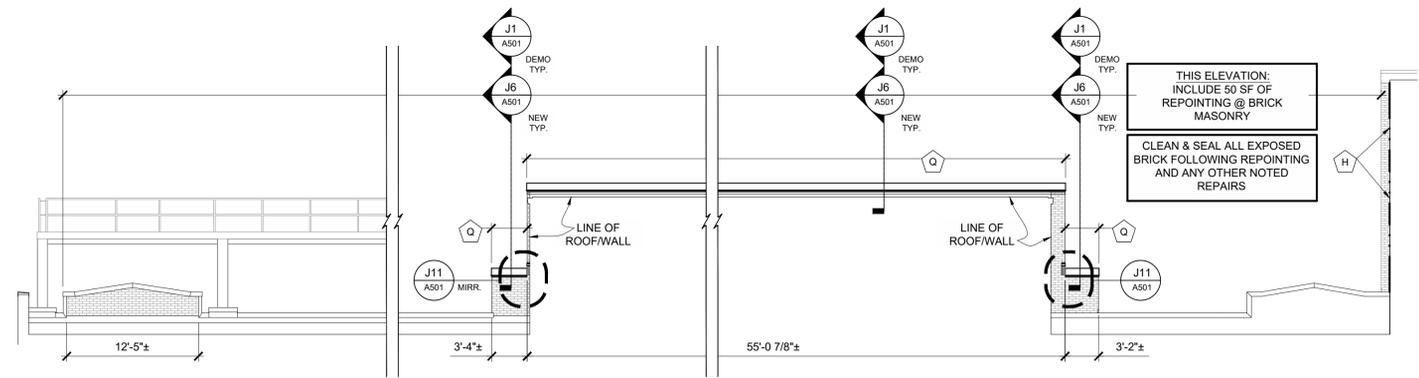
SEE F1/A203 FOR NEW WORK AT THIS AREA



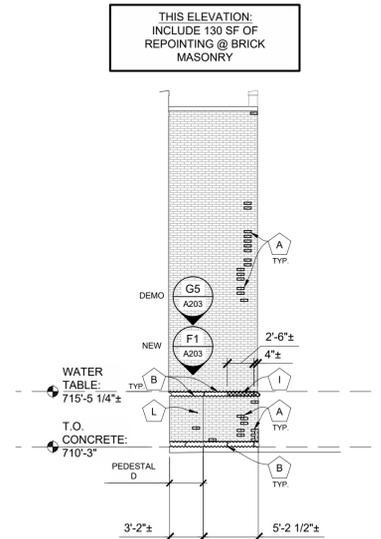
G9 KEY PLAN SCALE: N.T.S.

F1 **C2** **A203** 1923 BUILDING - NEW: PEDESTAL 'D' - CAP SCALE: 1" = 1'-0"

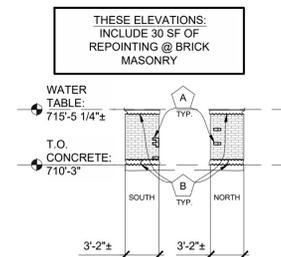
G5 **C2** **A203** 1923 BUILDING - DEMO: PEDESTAL 'D' - CAP SCALE: 1" = 1'-0"



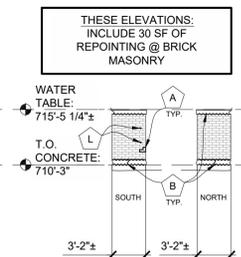
D5 1923 BUILDING - NORTH PARAPET INTERIOR ELEVATION SCALE: 1/8" = 1'-0"



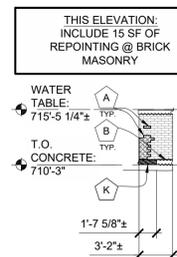
A2 **B4** **A202** 1923 BUILDING - PEDESTAL 'D' - SOUTH ELEV. 1955 BUILDING - SOUTH ELEVATION SCALE: 1/8" = 1'-0"



A5 **B3** **A202** 1923 BUILDING: PEDESTAL 'C' - SOUTH ELEV. PEDESTAL 'C' - NORTH ELEV. SCALE: 1/8" = 1'-0"



A7 **B2** **A202** 1923 BUILDING: PEDESTAL 'B' - SOUTH ELEV. PEDESTAL 'B' - NORTH ELEV. SCALE: 1/8" = 1'-0"



A9 **B1** **A202** 1923 BUILDING: PEDESTAL 'A' - NORTH ELEV. SCALE: 1/8" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

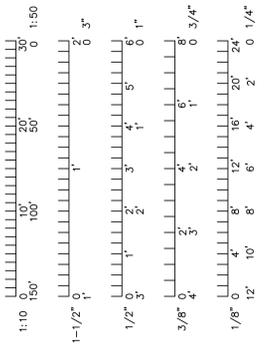
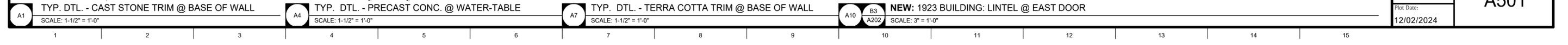
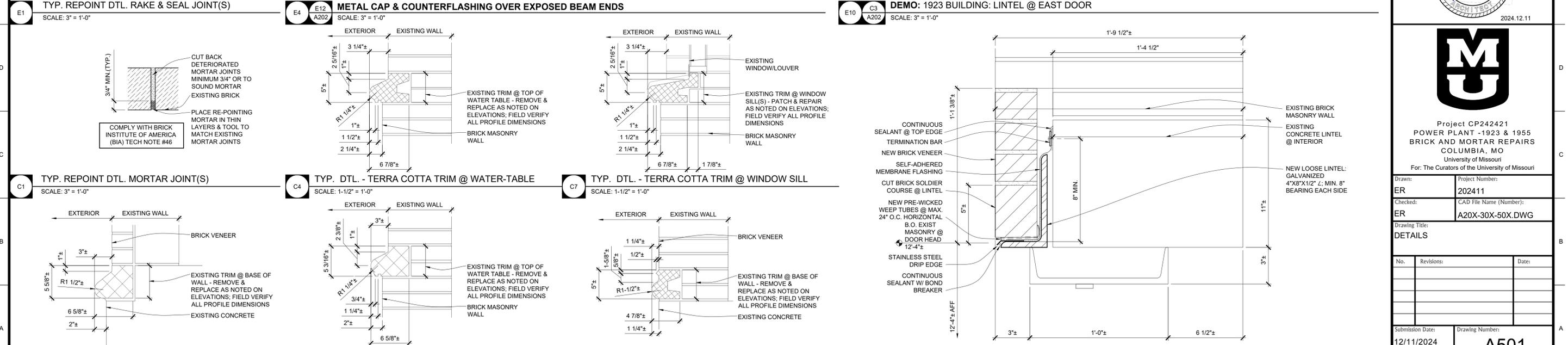
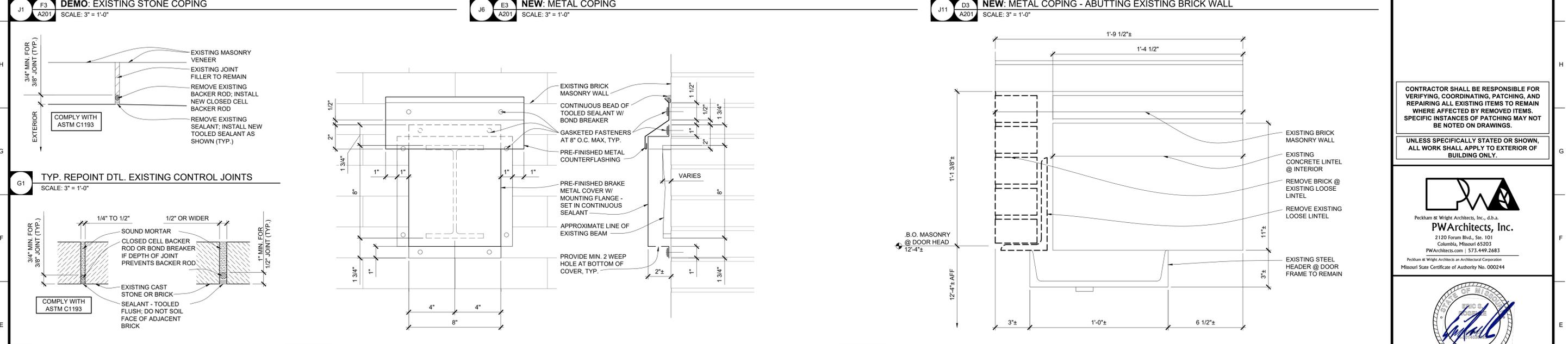
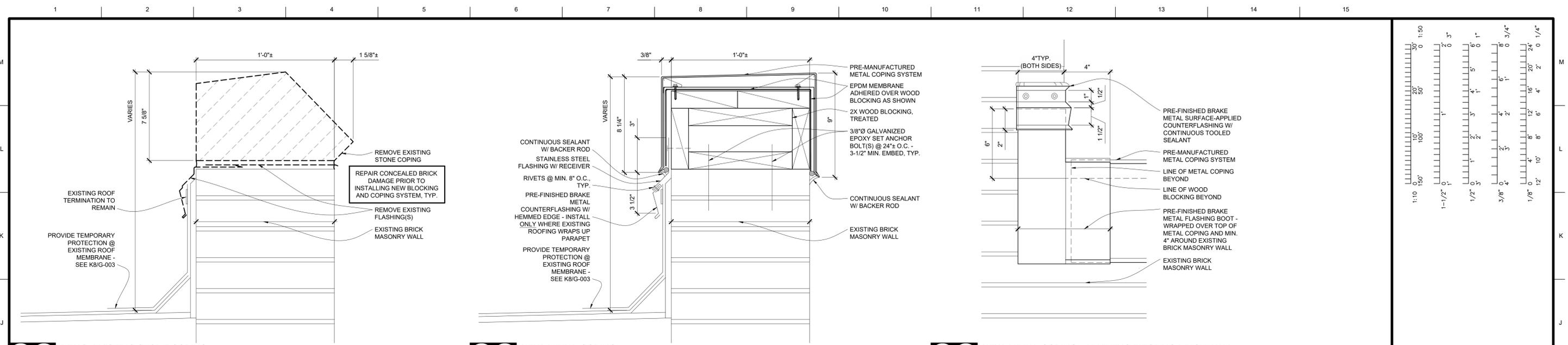
UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

PWArchitects, Inc.
 2120 Forum Blvd., Ste. 101
 Columbia, Missouri 65203
 PWArchitects.com | 573.449.2683



Project CP24241
 POWER PLANT - 1923 & 1955
 BRICK AND MORTAR REPAIRS
 COLUMBIA, MO
 University of Missouri
 For: The Curators of the University of Missouri

Drawn:	Project Number:
ER	202411
Checked:	CAD File Name (Number):
ER	A20X-30X-50X.DWG
Drawing Title:	
BUILDING ELEVATIONS	
No.	Revisions:
	Date:
Submission Date:	Drawing Number:
12/11/2024	A203
Plot Date:	
12/02/2024	



CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 573.449.2683
Pechkam & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



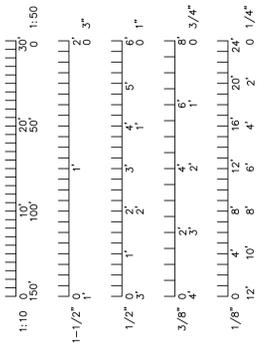
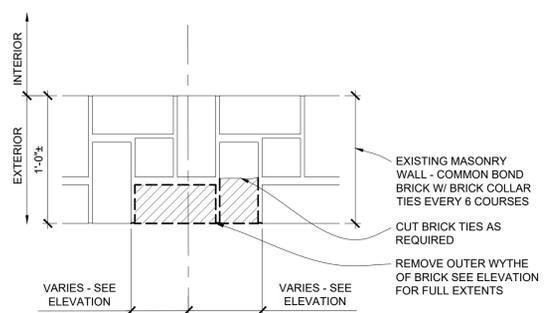
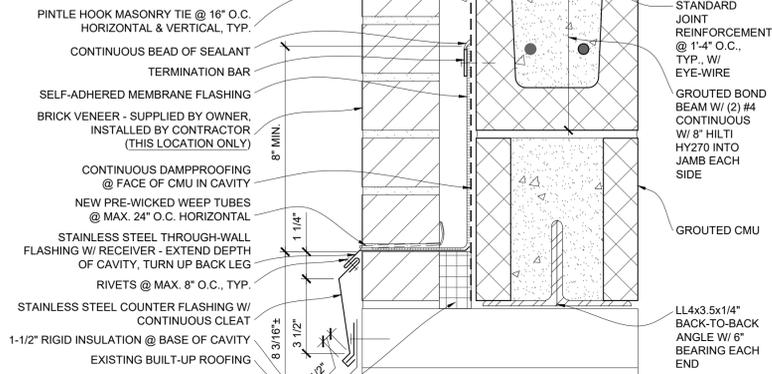
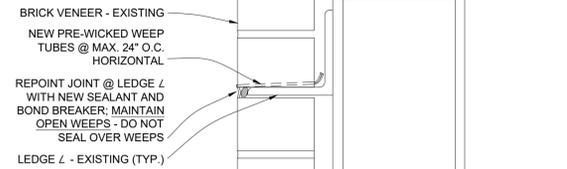
Project CP24241
POWER PLANT - 1923 & 1955
BRICK AND MORTAR REPAIRS
COLUMBIA, MO
For: The Curators of the University of Missouri

Drawn:	Project Number:
ER	202411
Checked:	CAD File Name (Number):
ER	A20X-30X-50X.DWG

Drawing Title:
DETAILS

No.	Revisions:	Date:

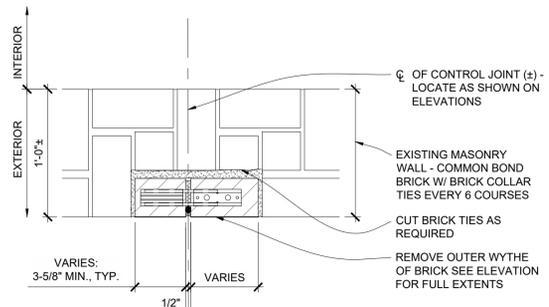
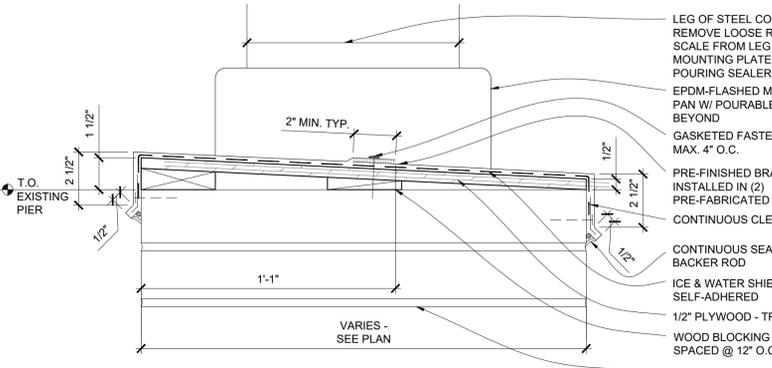
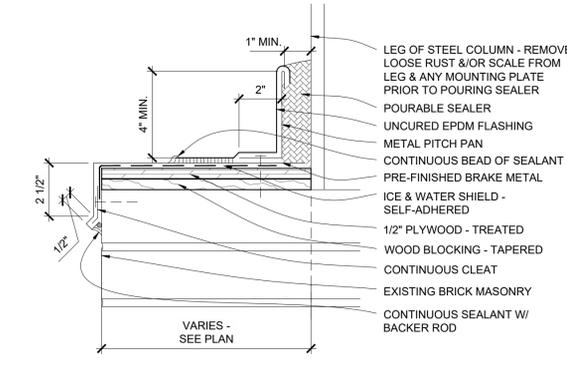
Submission Date: 12/11/2024
Plot Date: 12/02/2024
Drawing Number: **A501**



K1 TYP. - REPOINT LEDGE L DETAIL
SCALE: 3" = 1'-0"

K5 B9 A503 SILL @ NORTH WALL MASONRY INFILL
SCALE: 3" = 1'-0"

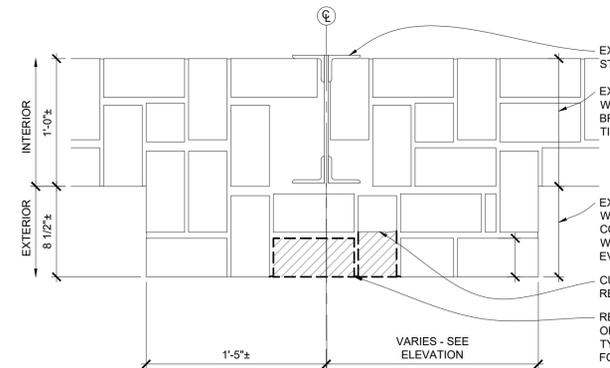
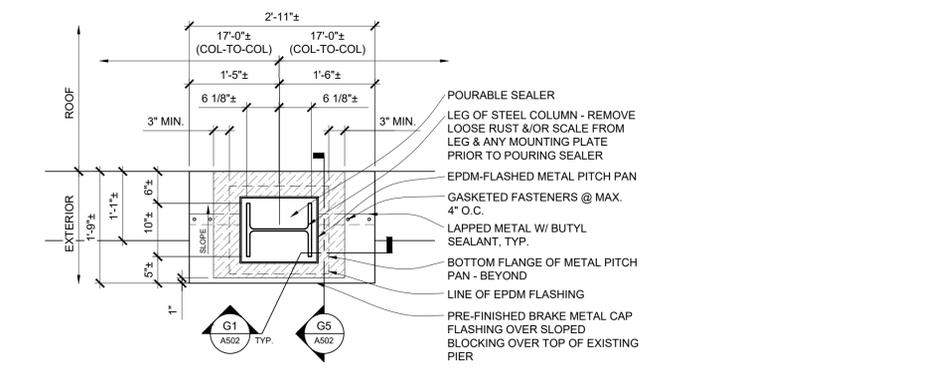
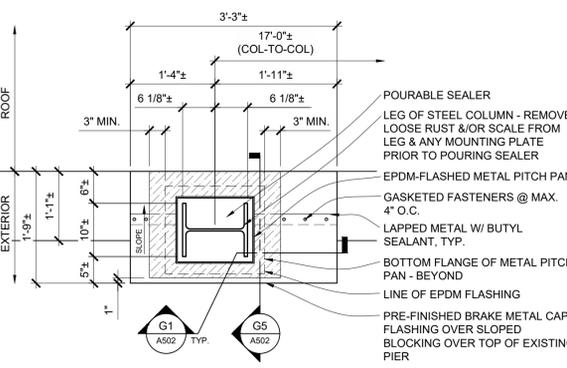
K11 D5 A202 DEMO: CONTROL JOINT PLAN DTL. @ 1955 ADDN. - EAST ELEV.
SCALE: 1-1/2" = 1'-0"



G1 A2 A502 SECTION DTL: PITCH PAN @ CAP FLASHING @ PIER
SCALE: 3" = 1'-0"

G5 A3 A502 SECTION DTL: PITCH PAN @ CAP FLASHING @ PIER
SCALE: 3/4" = 1'-0"

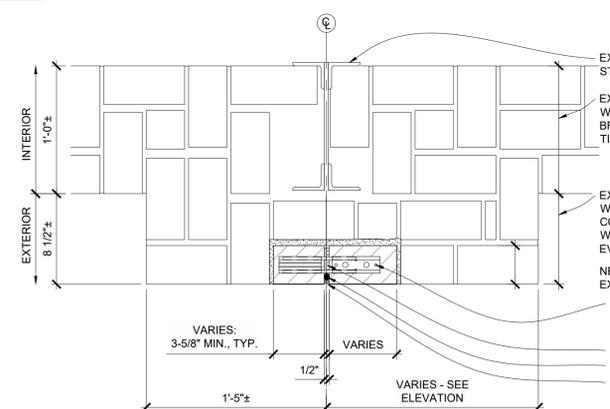
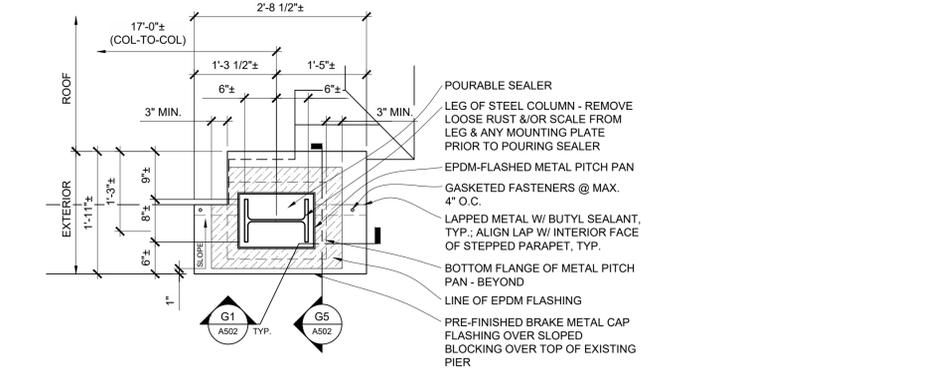
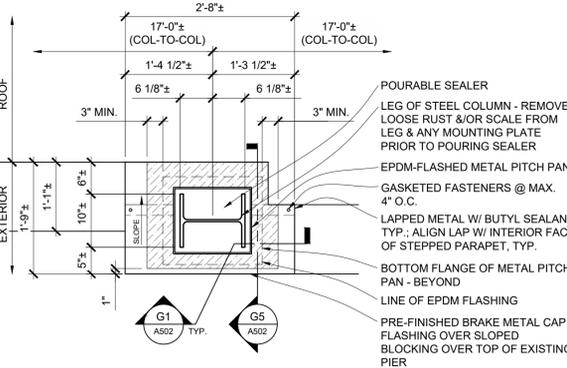
G11 C5 A202 NEW WORK: CONTROL JOINT PLAN DTL. @ 1955 ADDN. - EAST ELEV.
SCALE: 1-1/2" = 1'-0"



D1 D9 A201 ENLARGED PLAN: CAP FLASHING @ PILASTER/PIER
SCALE: 3/4" = 1'-0"

D5 D10 A502 ENLARGED PLAN: CAP FLASHING @ PILASTER/PIER
SCALE: 3/4" = 1'-0"

D11 D9 A201 DEMO: CONTROL JOINT PLAN DTL. @ 1923 BUILDING - SOUTH ELEV.
SCALE: 1-1/2" = 1'-0"



A1 D11 A201 ENLARGED PLAN: CAP FLASHING @ PILASTER/PIER
SCALE: 3/4" = 1'-0"

A5 D13 A201 ENLARGED PLAN: CAP FLASHING @ PILASTER/PIER
SCALE: 3/4" = 1'-0"

A11 D10 A201 NEW WORK: CONTROL JOINT PLAN DTL. @ 1923 BUILDING - SOUTH ELEV.
SCALE: 1-1/2" = 1'-0"

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

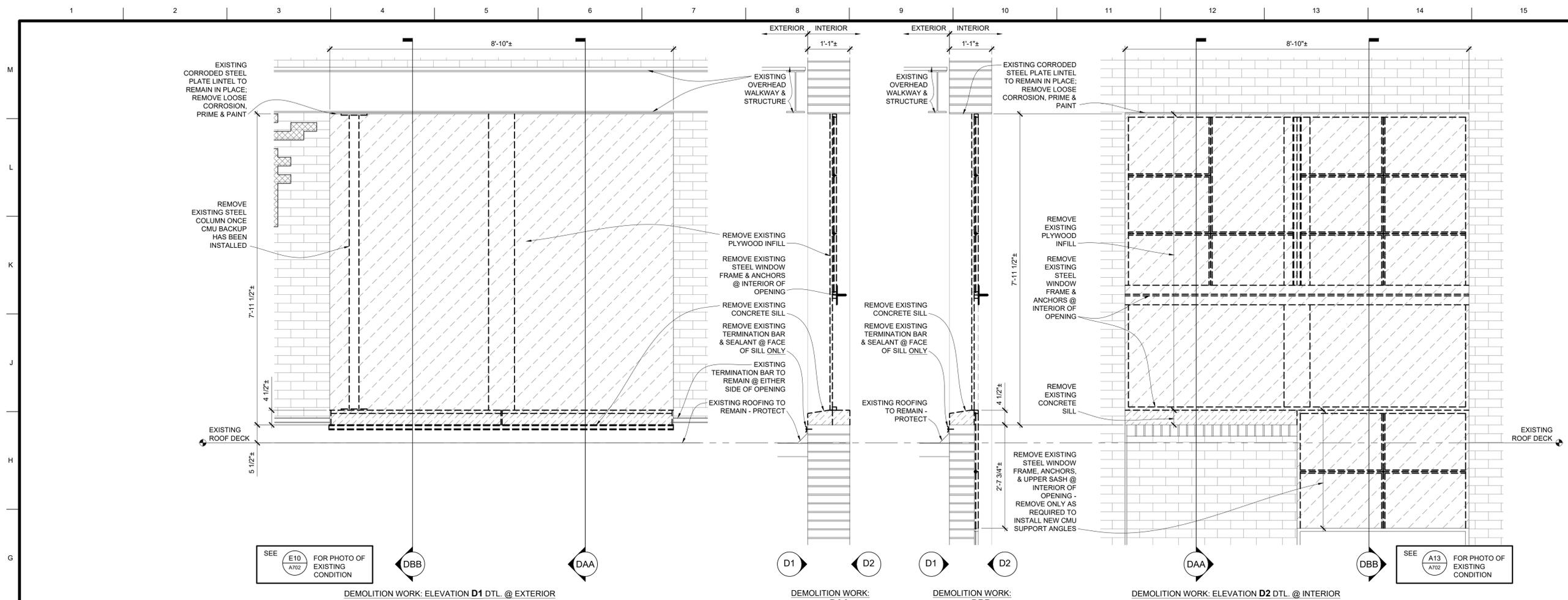
UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

Peckham & Wright Architects, Inc., d.b.a.
PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 573.449.2683
Peckham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



Project CP24241
POWER PLANT - 1923 & 1955
BRICK AND MORTAR REPAIRS
COLUMBIA, MO
For: The Curators of the University of Missouri

Drawn:	ER	Project Number:	202411
Checked:	ER	CAD File Name (Number):	A20X-30X-50X.DWG
Drawing Title:	DETAILS		
No.	Revisions:	Date:	
Submission Date:	12/11/2024		
Plot Date:	12/02/2024		
Drawing Number:	A502		



SEE E10 A702 FOR PHOTO OF EXISTING CONDITION

SEE A13 A702 FOR PHOTO OF EXISTING CONDITION

DEMOLITION WORK: ELEVATION D1 DTL. @ EXTERIOR

DEMOLITION WORK: SECTION DAA DTL.

DEMOLITION WORK: SECTION DBB DTL.

DEMOLITION WORK: ELEVATION D2 DTL. @ INTERIOR

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.



Pekham & Wright Architects, Inc., d.b.a.
PWarehitects, Inc.
 2120 Forum Blvd., Ste. 101
 Columbia, Missouri 65203
 PWarehitects.com | 573.449.2683
 Pekham & Wright Architects an Architectural Corporation
 Missouri State Certificate of Authority No. 000244



Project CP242421
 POWER PLANT - 1923 & 1955
 BRICK AND MORTAR REPAIRS
 COLUMBIA, MO
 University of Missouri
 For: The Curators of the University of Missouri

Drawn: ER
 Project Number: 202411

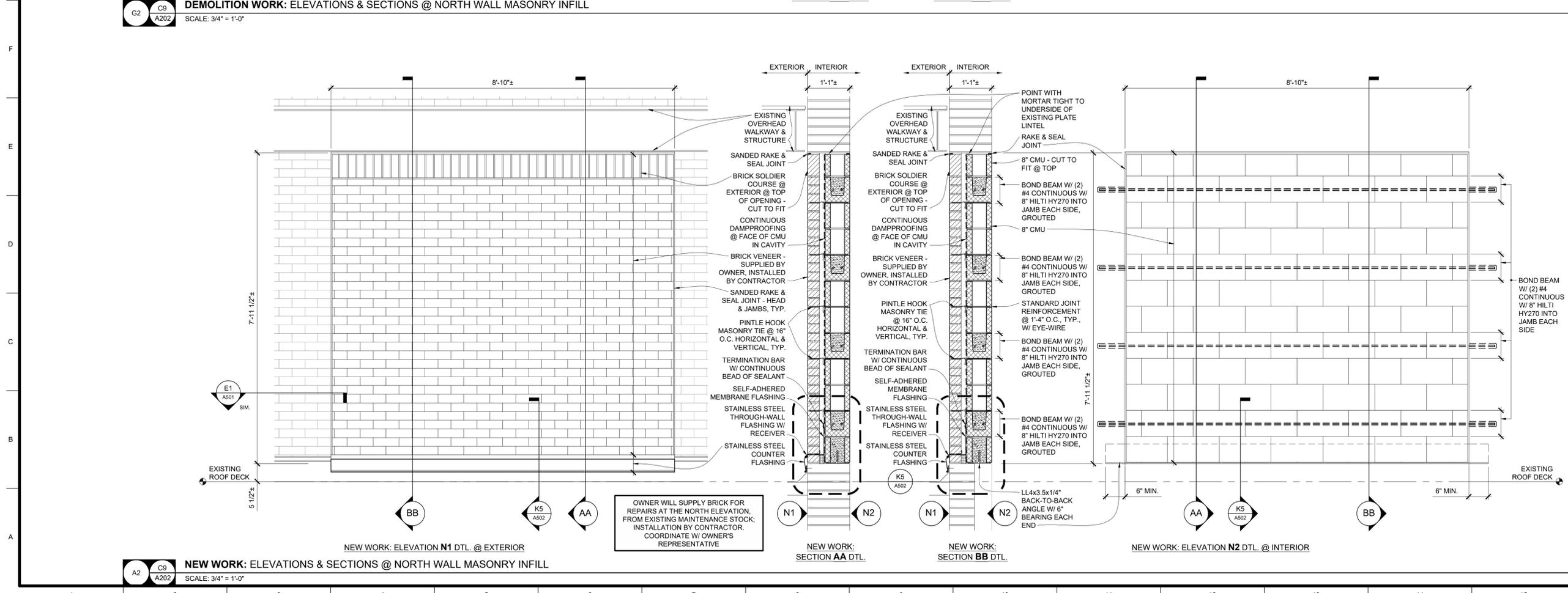
Checked: ER
 CAD File Name (Number): A20X-30X-50X.DWG

Drawing Title:
DETAILS - INFILL @ NORTH WALL

No.	Revisions	Date

Submission Date: 12/11/2024
 Drawing Number: A503

Plot Date: 12/02/2024



E1 A501 SIM.

OWNER WILL SUPPLY BRICK FOR REPAIRS AT THE NORTH ELEVATION, FROM EXISTING MAINTENANCE STOCK; INSTALLATION BY CONTRACTOR. COORDINATE W/ OWNER'S REPRESENTATIVE.

NEW WORK: ELEVATION N1 DTL. @ EXTERIOR

NEW WORK: SECTION AA DTL.

NEW WORK: SECTION BB DTL.

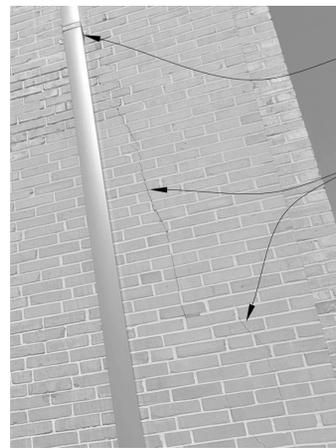
NEW WORK: ELEVATION N2 DTL. @ INTERIOR

Submission Date: 12/11/2024
 Drawing Number: A503

Plot Date: 12/02/2024

G2 C9 A202 SCALE: 3/4" = 1'-0"

A2 C9 A202 SCALE: 3/4" = 1'-0"



TEMPORARILY REMOVE CONDUCTOR HEAD, DOWNSPOUT, STRAP HANGERS; SALVAGE, STORE & REINSTALL AT SAME LOCATION AT END OF PROJECT

EXISTING CRACKED BRICK - SEE A1/A201 FOR SCOPE OF BRICK REPLACEMENT AND NEW CONTROL JOINT IN THIS AREA



REPAIR PLASTER WHERE NOTED; FOLLOWING REPAIR - CLEAN, PRIME, & PAINT ENTIRE PLASTER SURFACE. TEMPORARILY MASK EXISTING EXPOSED BRICK TO PREVENT STAINING BY PLASTER/PAINT.

SOUND & REMOVE ANY LOOSE OR DAMAGED PLASTER; SCRIBE PLASTER @ CRACKS, REMOVING EXISTING MATERIAL TO SOUND SURFACE, RE-PLASTER

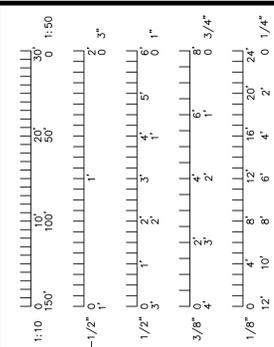
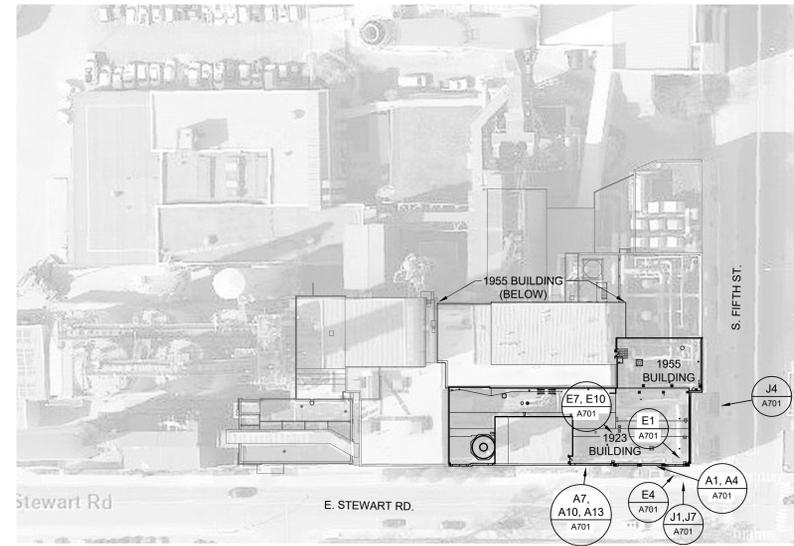
EXISTING LINTEL - REMOVE ANY LOOSE SCALE & RUST, CLEAN LINTEL, PRIME & REPAINT.

REMOVE EXISTING SEALANT AND BACKING MATERIAL @ PERIMETER OF OPENING (TYP.); INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER



CHIP OUT AND REMOVE LOOSE CONCRETE TO SOLID MATERIAL. USE CONCRETE REPAIR MORTAR TO PATCH DAMAGED CONCRETE

REMOVE EXISTING SEALANT, ENLARGE CRACK TO MIN. EXTENT REQUIRED TO PATCH WITH CONCRETE REPAIR MORTAR



J1 1923 BUILDING SE CORNER CRACKING
SCALE: N.T.S.

J4 1923 BUILDING NE CORNER
SCALE: N.T.S.

J7 1923 BUILDING SE CORNER - ENTRY STAIR WELL - EAST JAMB
SCALE: N.T.S.

J11 KEY PLAN
SCALE: N.T.S.



SEE D5/A203 FOR WORK @ THIS PARAPET

REMOVE EXISTING METAL PILASTER/PIER CAP FOR MASONRY REPAIRS. REPLACE THIS CAP FLASHING AS NOTED IN DETAILS:
- A5/A502 (PLAN)
- G1/A502
- G5/A502

PREVENT DEBRIS FROM ENTERING EXISTING ROOF DRAINS

PROVIDE TEMPORARY PROTECTION @ EXISTING ROOF MEMBRANE - SEE K8/G-003



TEMPORARILY REMOVE CONDUCTOR HEAD, DOWNSPOUT, STRAP HANGERS; SALVAGE, STORE & REINSTALL AT SAME LOCATION AT END OF PROJECT



REMOVE EXISTING METAL PILASTER/PIER CAP FOR MASONRY REPAIRS. REPLACE THIS CAP FLASHING AS NOTED IN DETAILS:
- D1/A502 (PLAN)
- D5/A502 (PLAN)
- G1/A502
- G5/A502

PROVIDE TEMPORARY PROTECTION @ EXISTING ROOF MEMBRANE - SEE K8/G-003



PHOTOS ARE SHOWN FOR GENERAL REFERENCE ONLY; REFER TO ELEVATION DRAWINGS FOR ADDITIONAL SCOPE OF WORK NOTES.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

Peckham & Wright Architects, Inc., d.b.a.
PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 573.449.2683
Peckham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244

E1 1923 BUILDING EXISTING METAL CAP @ PILASTER
SCALE: N.T.S.

E4 1923 BUILDING EXISTING METAL CAP @ PILASTER
SCALE: N.T.S.

E7 1923 BUILDING EXISTING METAL CAP @ PILASTER
SCALE: N.T.S.

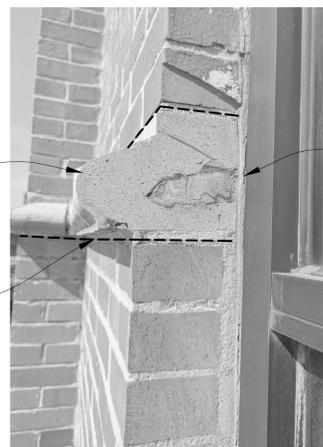
E10 1923 BUILDING EXISTING METAL CAP @ PILASTER
SCALE: N.T.S.



SEE C4/A501 FOR TYPICAL DIMENSIONS AT THIS PROFILE. REPLACE ONLY WHERE INDICATED - PATCH W/ REPAIR MORTAR AT ALL DAMAGE AT OTHER LOCATIONS. CLEAN & COAT TERRA COTTA AFTER OTHER REPAIRS ARE COMPLETE

REPOINT JOINTS BETWEEN BRICK AND DISSIMILAR MATERIAL(S) WITH NEW "RAKE AND SEAL" (SEALANT OVER RAKED MORTAR) JOINTS - AS INDICATED. SEE E1/A501

SEE A7/A501 FOR TYPICAL DIMENSIONS AT THIS PROFILE. REPLACE ONLY WHERE INDICATED - PATCH W/ REPAIR MORTAR AT ALL DAMAGE AT OTHER LOCATIONS. CLEAN & COAT TERRA COTTA AFTER OTHER REPAIRS ARE COMPLETE



REMOVE EXISTING SEALANT AND BACKING MATERIAL @ PERIMETER OF OPENING (TYP.); INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER

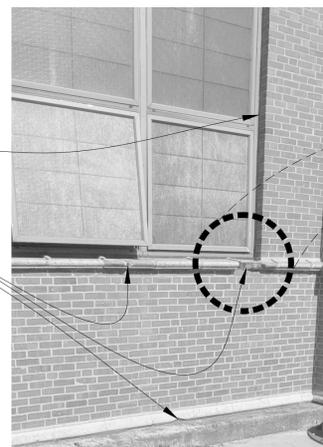
GAS MAIN BEHIND ALUMINUM FENCE AND JERSEY BARRIERS. WHEN WORKING IN THIS AREA, PROTECT THE GAS MAIN PER OVERHEAD PROTECTION DETAIL K12/G003. PROVIDE PROTECTION FOR EXISTING FENCING, FENCING AND JERSEY BARRIERS TO REMAIN IN PLACE.



REMOVE EXISTING SEALANT AND BACKING MATERIAL @ PERIMETER OF OPENING (TYP.); INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER

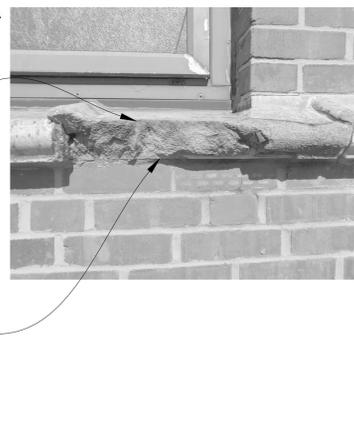
REPAIR DAMAGED TERRA COTTA TRIM W/ TERRA COTTA REPAIR MORTAR; REFER TO UNIT PRICING FOR OVERALL QUANTITIES INCLUDED

REPOINT JOINTS IN TERRA COTTA WITH NEW "RAKE AND SEAL" (SEALANT OVER RAKED MORTAR) JOINTS; SEE E1/A501



REPAIR DAMAGED TERRA COTTA TRIM W/ TERRA COTTA REPAIR MORTAR; REFER TO UNIT PRICING FOR OVERALL QUANTITIES INCLUDED

PROVIDE 3/8" STAINLESS STEEL PINS OR OTHER REINFORCEMENT AS RECOMMENDED BY THE MANUFACTURER FOR SEVERELY DAMAGED REPAIRED AREAS TO REMAIN



A1 TERRA COTTA TRIM PROFILE @ BASE OF WALL
SCALE: N.T.S.

A4 TERRA COTTA TRIM PROFILE @ TOP OF WATER TABLE
SCALE: N.T.S.

A7 TERRA COTTA TRIM DAMAGE
SCALE: N.T.S.

A10 TERRA COTTA TRIM DAMAGE
SCALE: N.T.S.

A13 TERRA COTTA TRIM DAMAGE - DETAIL @ PHOTO A10
SCALE: N.T.S.

Project CP242421
POWER PLANT - 1923 & 1955
BRICK AND MORTAR REPAIRS
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	ER	Project Number:	202411
Checked:	ER	CAD File Name (Number):	A70X.DWG
Drawing Title: PHOTOS			
No.	Revisions:	Date:	
Submission Date:	12/11/2024	Drawing Number:	A701
Plot Date:	11/28/2024		



REPAIR PLASTER WHERE NOTED: FOLLOWING REPAIR - CLEAN, PRIME, & PAINT ENTIRE PLASTER SURFACE. TEMPORARILY MASK EXISTING EXPOSED BRICK TO PREVENT STAINING BY PLASTER/PAINT.

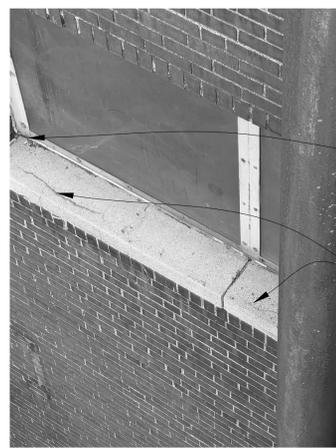
SOUND & REMOVE ANY LOOSE OR DAMAGED PLASTER; SCRIBE PLASTER @ CRACKS, REMOVING EXISTING MATERIAL TO SOUND SURFACE, RE-PLASTER

REMOVE BRICK TO EXPOSE EXISTING LINTEL; REPLACE

REMOVE TEMPORARY BOARDING, PATCH ALL HOLES IN BRICK/MORTAR W/ REPAIR MORTAR. REPLACE ANY DAMAGED BRICK. COORDINATE W/ OWNER'S REPRESENTATIVE FOR ACCESS TO ORIGINAL DOORS (AS REQUIRED)

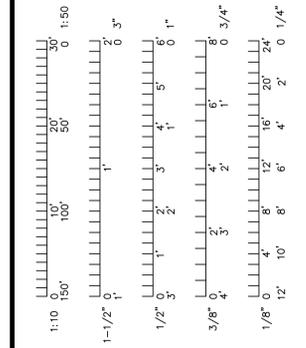
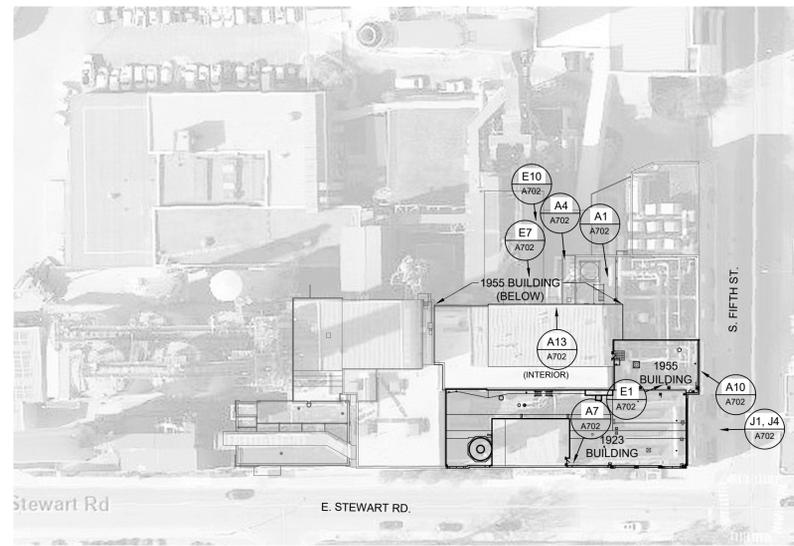


DOORS ARE REMOVED & HAVE BEEN RESTORED BY OWNER. OWNER WILL RE-HANG DOORS FOLLOWING THIS PROJECT. COORDINATE W/ OWNER'S REPRESENTATIVE FOR ANY REQUIRED ACCESS TO ORIGINAL DOORS



REMOVE EXISTING SEALANT AND BACKING MATERIAL @ PERIMETER OF OPENING (TYP.). INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER

REPAIR DAMAGED CONCRETE WASH SURFACE WITH PATCHING MORTAR; FOLLOWING REPAIR, CLEAN & SEAL SILL W/ SILOXANE SEALER



J1 1923 BUILDING EAST ENTRY
SCALE: N.T.S.

J4 1923 BUILDING EAST ENTRY - W/O BOARDING
SCALE: N.T.S.

J7 1955 BUILDING NORTH ELEVATION - DAMAGED SILL
SCALE: N.T.S.

J11 KEY PLAN
SCALE: N.T.S.



TEMPORARILY REMOVE EXISTING COPING & BLOCKING TO MINIMUM EXTENT POSSIBLE - FOR INSTALLATION OF NEW CONTROL JOINT AND OR REPLACEMENT OF BRICK AT BACK OF PARAPET; REINSTALL EXISTING COPING & BLOCKING W/ NEW SEALANT @ SAME LOCATION.

TEMPORARILY MOVE EXISTING LIGHTNING PROTECTION CABLE FOR WORK IN THIS AREA. REINSTALL CABLE AT SAME LOCATION, W/ EXISTING ANCHORS OR SIMILAR

REPLACE SPALLED & DAMAGED BRICK - SEE G1/A202 FOR EXTENTS

PROVIDE TEMPORARY PROTECTION @ EXISTING ROOF MEMBRANE - SEE K8/G-003



INSTALL NEW PRE-FINISHED METAL FLASHING W/ TOOLED SEALANT - SEE E4/A501

PROVIDE MIN. 3/4\"/>

REPOINT JOINTS WITH NEW "RAKE AND SEAL" (SEALANT OVER RAKED MORTAR) JOINTS. SEE E1/A501

REPLACE DAMAGED BRICK - SEE A7/A202 FOR EXTENTS



EXISTING CORRODED STEEL PLATE LINTEL TO REMAIN

SEE A7/A202 FOR BRICK REPAIR & REPOINTING NOTES

REMOVE EXISTING TUBE COLUMN ONCE CMU BACKUP HAS BEEN SET

REMOVE EXISTING PLYWOOD INFILL & ORIGINAL STEEL WINDOW FRAME

REMOVE EXISTING CONCRETE SILL

REMOVE EXISTING TERM BAR @ SILL ONLY; ROOFING TO REMAIN - PROTECT ROOFING

TERM BAR TO REMAIN @ SIDES OF OPENING

EXISTING WINDOW SASH TO REMAIN AT BOTTOM OF OPENING

PHOTOS ARE SHOWN FOR GENERAL REFERENCE ONLY; REFER TO ELEVATION DRAWINGS FOR ADDITIONAL SCOPE OF WORK NOTES.

E1 1955 BUILDING: ROOF SIDE OF EXISTING EAST ELEVATION BRICK PARAPET
SCALE: N.T.S.

E7 1955 BUILDING: NORTH ELEV: STEEL BEAM PENETRATION
SCALE: N.T.S.

E10 1955 BUILDING: NORTH ELEV: INFILL EXISTING OPENING - EXTERIOR VIEW
SCALE: N.T.S.



RESET EXISTING COUNTERFLASHING; INSTALL STAINLESS STEEL TERMINATION BAR W/ SEALANT RECEIVER OVER TOP EDGE OF EXISTING COUNTERFLASHING; PROVIDE FASTENERS @ MAX. 8\"/>

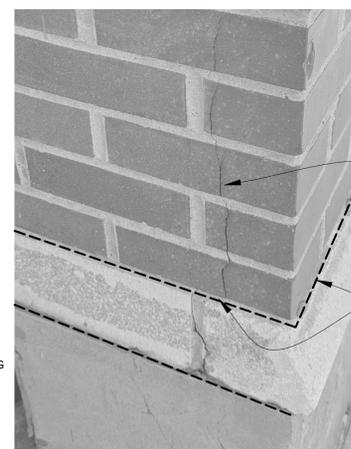


REMOVE EXISTING SEALANT AND BACKING MATERIAL @ SIDES OF OPENING (TYP.); INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER



REMOVE EXISTING STONE COPING @ ASSOCIATED FLASHING(S); INSTALL NEW TREATED WOOD BLOCKING, FLASHING(S), & PRE-MANUFACTURED METAL COPING - A1/A201

PROVIDE TEMPORARY PROTECTION @ EXISTING ROOF MEMBRANE - SEE K8/G-003



REPLACE DAMAGED BRICK - SEE A1/A202 FOR EXTENTS

REPOINT JOINTS BETWEEN BRICK AND DISSIMILAR MATERIAL(S) WITH NEW "RAKE AND SEAL" (SEALANT OVER RAKED MORTAR) JOINTS - AS INDICATED. SEE E1/A501



A1 ASH CONVEYOR COUNTERFLASHING @ BOTTOM
SCALE: N.T.S.

A4 ASH CONVEYOR COUNTERFLASHING @ TOP
SCALE: N.T.S.

A7 EXISTING STONE COPING (TO REMOVE)
SCALE: N.T.S.

A10 1955 BUILDING: CRACKED BRICK @ OH DOOR
SCALE: N.T.S.

A13 1955 BUILDING: NORTH ELEV: INFILL EXISTING OPENING - INTERIOR VIEW
SCALE: N.T.S.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.



Project CP242421
POWER PLANT - 1923 & 1955
BRICK AND MORTAR REPAIRS
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	Project Number:
ER	202411
Checked:	CAD File Name (Number):
ER	A70X.DWG

Drawing Title:
PHOTOS

No.	Revisions:	Date:

Submission Date:	Drawing Number:
12/11/2024	A702
Plot Date:	
12/02/2024	