VARIOUS LOCATIONS -REPAIR MASONRY STAIR TOWE HUDSON AND GILLETT Project CP231031

UNIVERSITY OF MISSOURI FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI COLUMBIA, MISSOURI

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PREPARED BY:



Issued for Bid: December 5, 2023

"I HEREBY CERTIFY THESE DRAWINGS AND/OR SPECFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND/OR SPECIFICATIONS ARE AS REQUIRED BY AND IN COMPLIANCE WITH THE BUILDING CODES OF THE UNIVERSITY OF MISSOURI".



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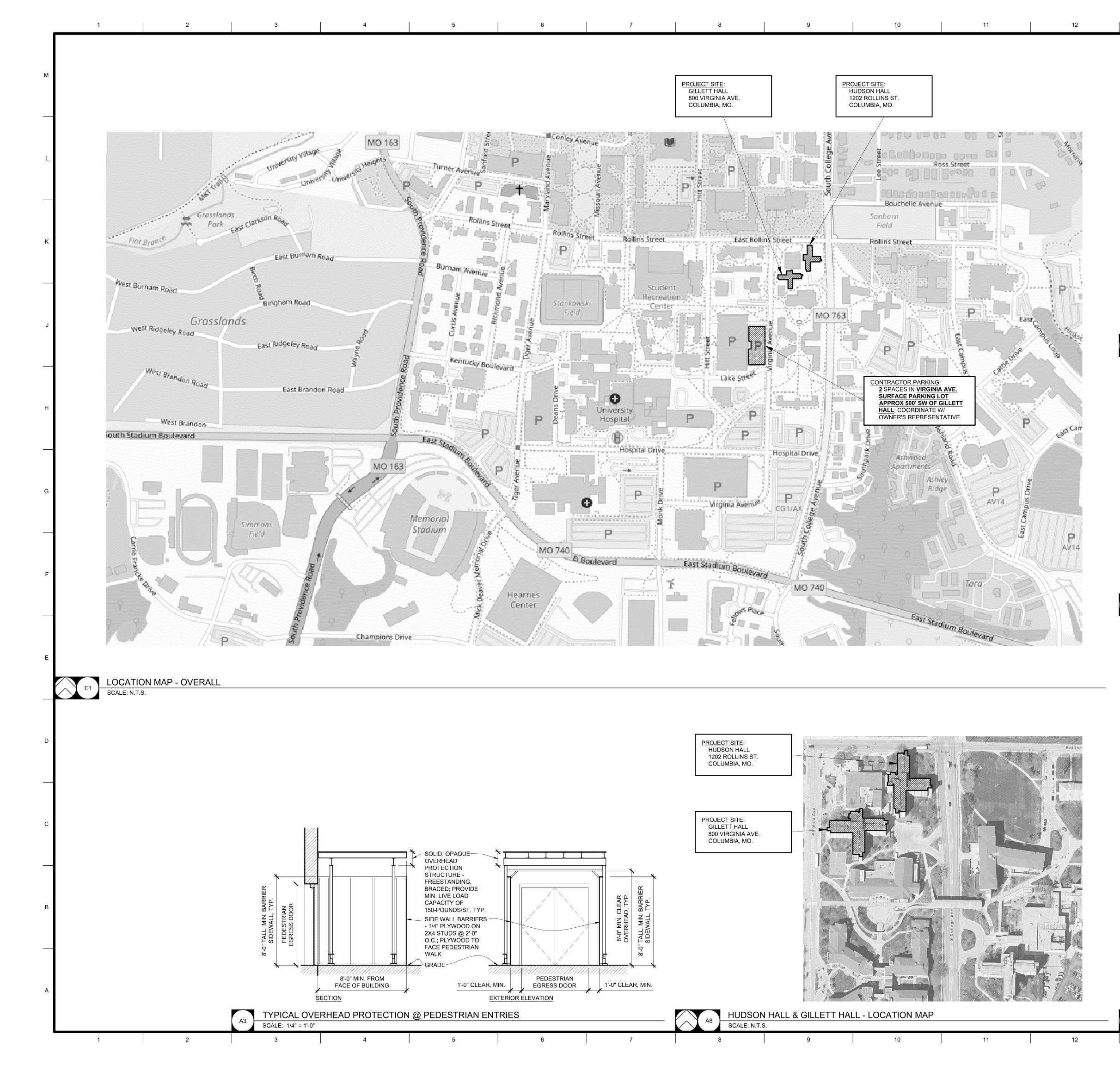
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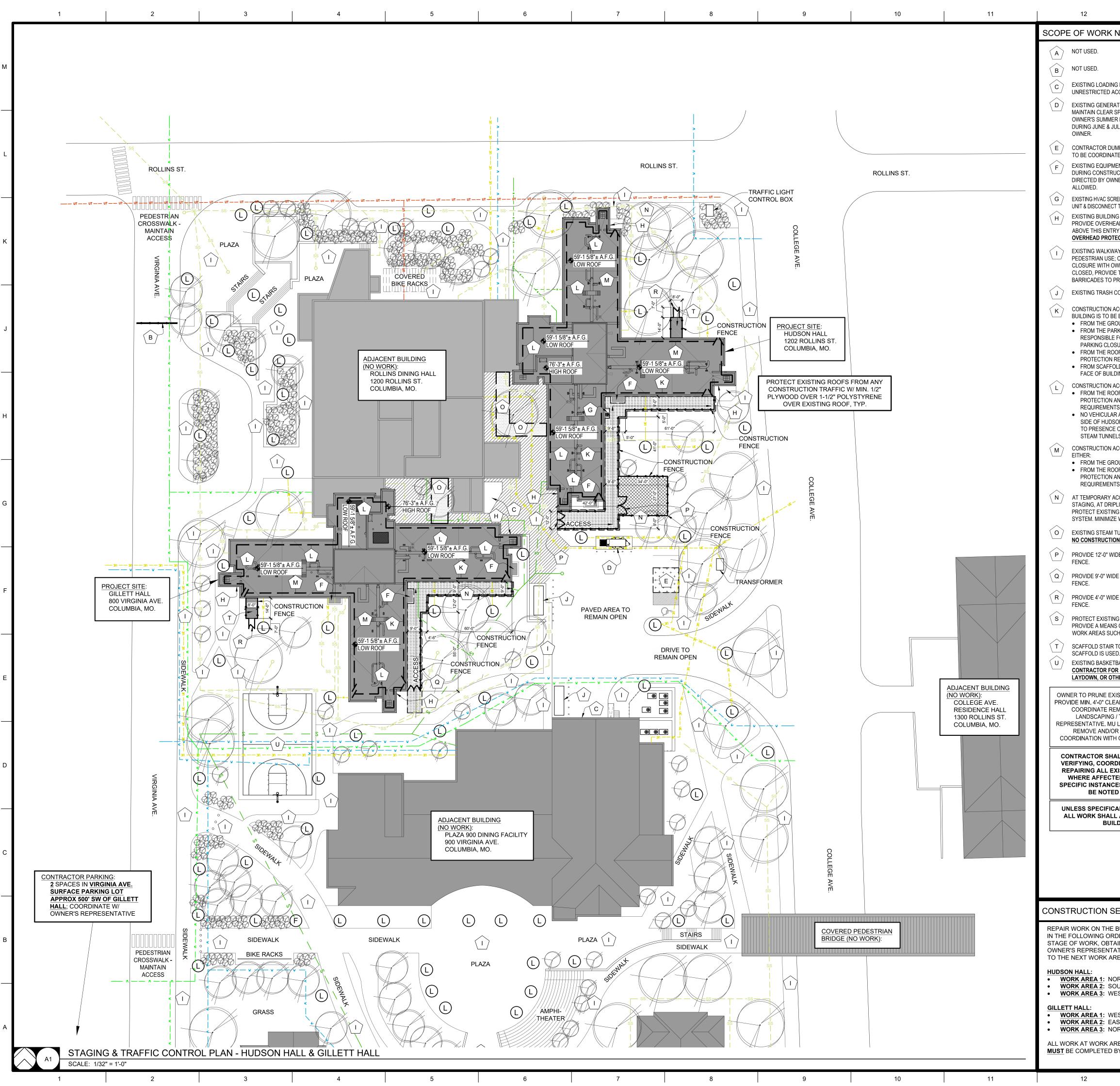
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			Peckham & Wright Architects, Inc., d.b.a. PWCACCES Pulzo Forum Blvd., Ste. 101 Columbia, Missouri 65203 PWArchitects.com 573.449.2683 Peckham & Wright Architects an Architectural Corporation Missouri State Certificate of Authority No. 000244
			Project CP231031VARIOUS LOCATIONS -REPAIR MASONRY STAIR TOWERSAT HUDSON AND GILLETTCOLUMBIA, MOUniversity of MissouriFor: The Curators of the University of MissouriDrawn:Project Number:ER, DP202302Checked:CAD File Name (Number):
			ER G001.DWG Drawing Title: COVER SHEET No. Revisions: Date:
13	14	15	Submission Date: 2023.12.05 Plot Date: 2023.11.21 Drawing Number: G001

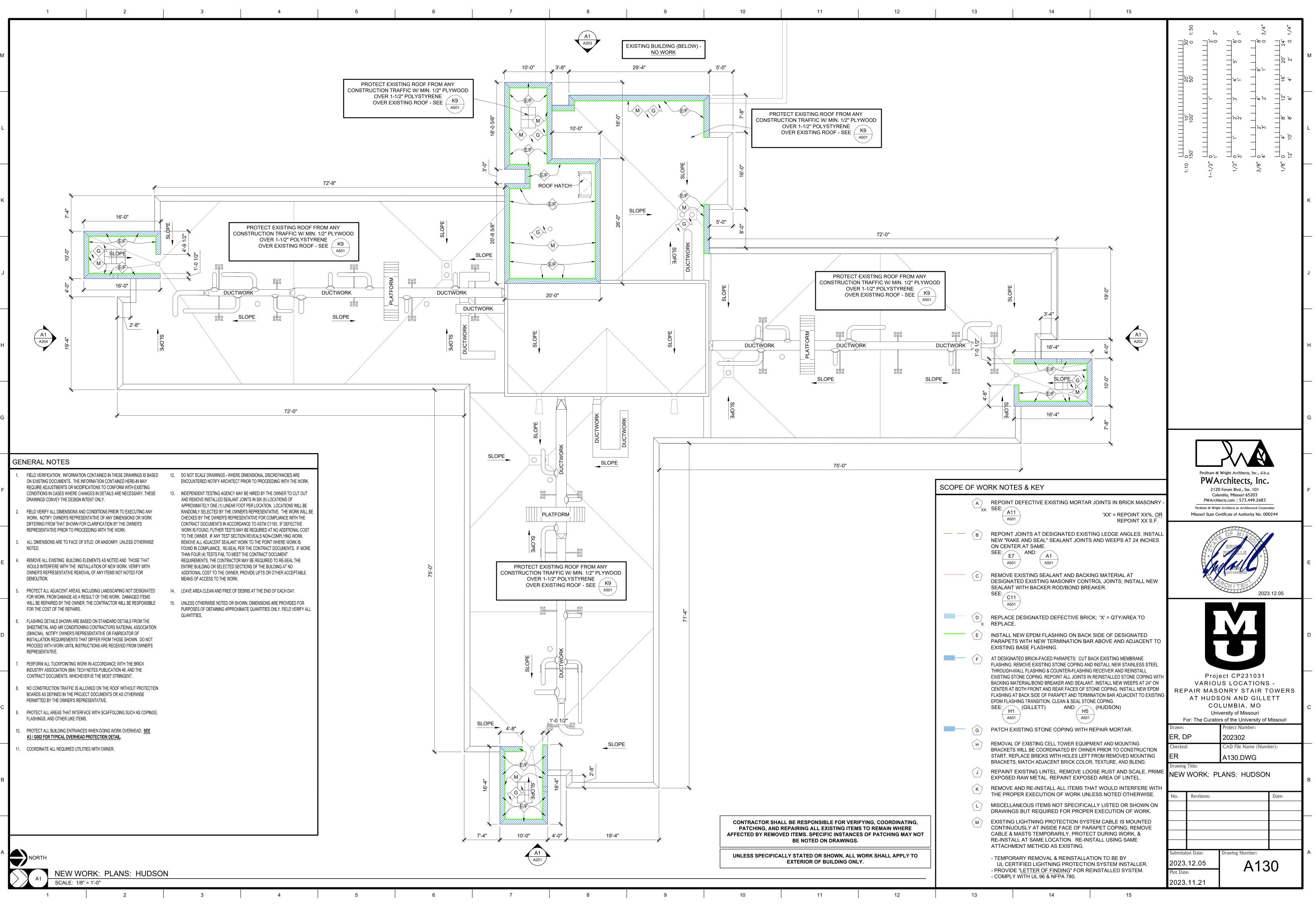
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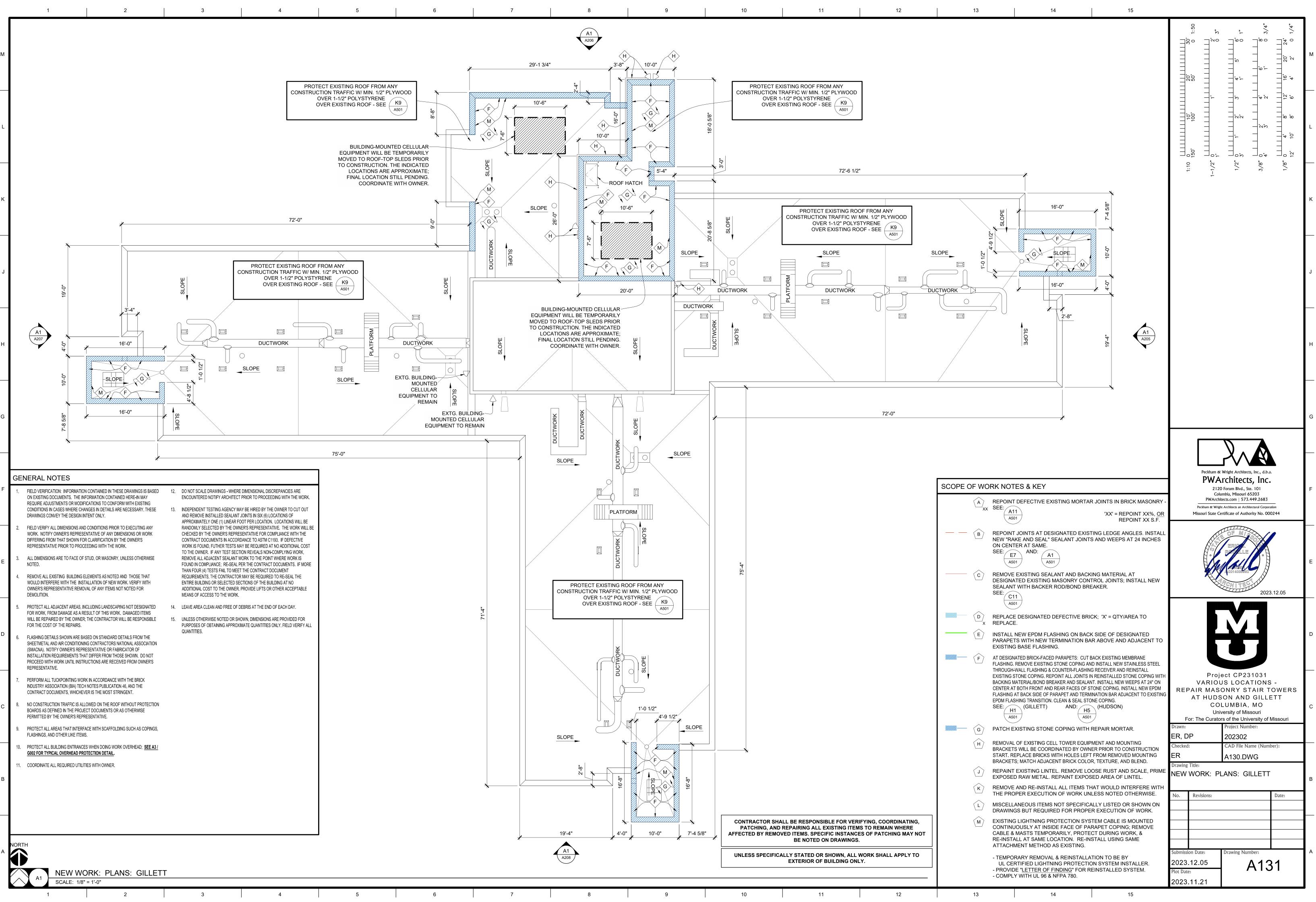


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WOOD FRAMING WOOD BLOCKING PLYWOOD EXISTING		SECTION PLAN, SECTION PLAN, SECTION PLAN,		PWA 212	Wright Architects, Inc., d.b.a. Architects, Inc. O Forum Blvd., Ste. 101 umbia, Missouri 65203	F
F13 BUILDING MATERIAL LEC SCALE: NTS	GEND	SECTION		PWArch Peckham & Wrig	itects.com 573.449.2683 ht Architects an Architectural Corporation ertificate of Authority No. 000244	
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A000 SH	RID REFERENCE	SECTION BULLET	GRID REFERENCE ALWAYS ON TOP	C O Uni For: The Curato Drawn:	SON AND GILLETT LUMBIA, MO iversity of Missouri ors of the University of Missouri Project Number:	с
SCOPE OF WORK BULLET	r		PHOTOS	ER, DP Checked: ER	202302 CAD File Name (Number): G002.DWG	┫
A000)	_		A1 ON TOP VIEW DIRECTION SHEET NO.	Drawing Title: LOCATION MAR & LEGENDS No. Revisions:	PS, LIST OF DRAWINGS,	В
		(1) (A)	_			
BENCHMARK BULLET		SPOT ELEV. BULLET	TC - TOP OF CURB TG - TOP OF GRADE			-
SYMBOL LEGE	END		TW - TOP OF WALL TP - TOP OF PAVING	Submission Date: 2023.12.05 Plot Date:	Drawing Number:	A
A13 SCALE: NTS	14		15	2023.11.21		



13 NOTES	14 15 GENERAL SITE PLAN & STAGING NOTES 000000000000000000000000000000000000
IG DOCK TO REMAIN OPEN WITH	1. FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HERE-IN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY. THESE DRAWINGS CONVEY THE DESIGN INTENT ONLY.
CCESS FOR DURATION OF PROJECT. NTOR TO REMAIN - PROTECT. SPACE AROUND GENERATOR FOR R LOAD TESTING TO TAKE PLACE	2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO
JLY 2023. COORDINATE WITH	PROCEEDING WITH THE WORK. Image: Construction of the work of
TED WITH OWNER. ENT VENTILATION GRILLE; PROTECT JCTION. RESTRICT LOADING AS NER; VEHICULAR LOADING NOT	OTHERWISE NOTED. 4. REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
EEN / ENCLOSURE FOR CONDENSING TO REMAIN. PROTECT. G ENTRY TO REMAIN OPEN; AD PROTECTION WHILE WORKING	 OF ANY ITEMS NOT NOTED FOR DEMOLITION. PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
Y; <u>SEE A3 / G002 FOR TYPICAL</u> ECTION DETAIL. AY TO REMAIN AVAILABLE FOR COORDINATE ANY TEMPORARY WNER'S REPRESENTATIVE. IF E TEMPORARY FENCING AND / OR REVENT USE.	 FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
COMPACTOR TO REMAIN. PROTECT. CCESS TO THIS SIDE OF THE E EITHER:	 PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
DUND, OR RKING LOT - CONTRACTOR IS FOR COST OF TEMPORARY SURE, OR DF VIA SWING STAGE; NOTE ROOF	 NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
REQUIREMENTS, OR DLDING, SET MAXIMUM 4'-0" OFF THE DING	9. PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
CCESS AT THIS LOCATION IS TO BE: OF VIA SWING STAGE; NOTE ROOF AND OVERHEAD PROTECTION	10. PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD; <u>SEE A3 / G002 FOR TYPICAL OVERHEAD</u> <u>PROTECTION DETAIL</u> .
S ACCESS IS ALLOWED ON WEST ON OR NORTH SIDE OF GILLETT DUE OF EXISTING UNDERGROUND	11. COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
LS AND OTHER UTILITIES. CCESS AT THIS LOCATION IS TO BE	12. DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
DUND, OR DF VIA SWING STAGE; NOTE ROOF ND OVERHEAD PROTECTION S	13. INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S
CCESS LANES AND CONTRACTOR LINE OF TREES TO REMAIN, G TREE ROOTBALL AND ROOT	REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FUTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO
WEIGHT & VEHICULAR TRAFFIC. UNNEL BELOW GRADE; N TRAFFIC ALLOWED.	THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE; RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT
DE MOVABLE GATE IN CONSTRUCTION	DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER. PROVIDE LIFTS OR
E MOVABLE GATE IN CONSTRUCTION	OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK. 14. LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY. Peckham & Wright Architects, Inc., d.b.a. PWArchitects, Inc. 2120 Forum Blvd., Ste. 101 2120 Forum Blvd., Ste. 101
E MOVABLE GATE IN CONSTRUCTION	15. UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE
G LANDSCAPE IN WORK AREAS. S OF COLLECTING FALLING DEBRIS IN SH AS TARPS OR OTHER EQUIPMENT. TOWER LOCATION, IF REQUIRED, IF D.	16. OFFLOAD ALL MATERIALS AT DESIGNATED AREA. MOVE ALL DELIVERY VEHICLES FROM SITE IMMEDIATELY AFTER OFFLOADING. Missouri State Certificate of Authority No. 000244
BALL COURT. NOT USABLE BY R Staging, materials storage / Her Purposes.	ERICA- RESILLE •
ISTING TREES/VEGETATION TO AR @ PERIMETER OF BUILDING.	EXISTING POLE-MOUNTED OR POST- MOUNTED
MOVAL OF ANY EXISTING / TREES WITH OWNER'S LANDSCAPING SERVICES WILL R PRUNE BACK TREES IN	EXISTING POLE-MOUNTED OR POST- MOUNTED SITE LIGHTING TO REMAIN; PROTECT DURING CONSTRUCTION ACTIVITIES
I OWNER'S REPRESENTATIVE.	EXISTING FIBER OPTIC / TELECOMMUNICATIONS LINE PULL BOX
DINATING, PATCHING, AND XISTING ITEMS TO REMAIN ED BY REMOVED ITEMS. ES OF PATCHING MAY NOT O ON DRAWINGS.	ACCESS LANES @ EXISTING LANDSCAPING; COORDINATE FINAL LOCATION(S) WITH OWNER'S REPRESENTATIVE ON-SITE. • COVER SOIL WITH DOUBLE LAYER OF ALTURNAMATS (TYP.)
ALLY STATED OR SHOWN, . APPLY TO EXTERIOR OF .DING ONLY.	AT PROJECT COMPLETION REMOVE ALTURNAMATS. STAGING AREA - COVER SOIL WITH DOUBLE LAYER OF VARIOUS LOCATIONS - DEDUID MODEL COMPLETION REMOVE
	<pre> XXX> ALTURNAMATS. ALTURNAMATS. ALTURNAMATS. ALTURNAMATS. ALTURNAMATS. ACONTRACTOR DUMPSTER LOCATION ACOLUMBIA, MO COLUMBIA, MO University of Missouri For: The Curators of the University of Missouri </pre>
	NO CONTRACTOR VEHICLES ALLOWED Drawn: Project Number: ER, DP 202302
EQUENCING NOTES	LANDSCAPING ITEM TO REMAIN & Checked: CAD File Name (Number): PROTECT ER G003.DWG
BUILDING IS TO BE COMPLETED DER. ON COMPLETION OF EACH IN APPROVAL FROM THE	Drawing Title: Drawing Title: Drawing Title: Drawing Title: STAGING & TRAFFIC CONTROL: HUDSON & GILLETT
TIVE PRIOR TO PROCEEDING EA:	
RTH AND EAST ELEVATIONS UTH ELEVATION ST ELEVATION	
EST AND SOUTH ELEVATIONS ST ELEVATION PRTH ELEVATION	Submission Date: Drawing Number:
REAS 1 & 2 FOR BOTH BUILDINGS BY <u>AUGUST 14, 2024</u> .	2023.12.05 G003
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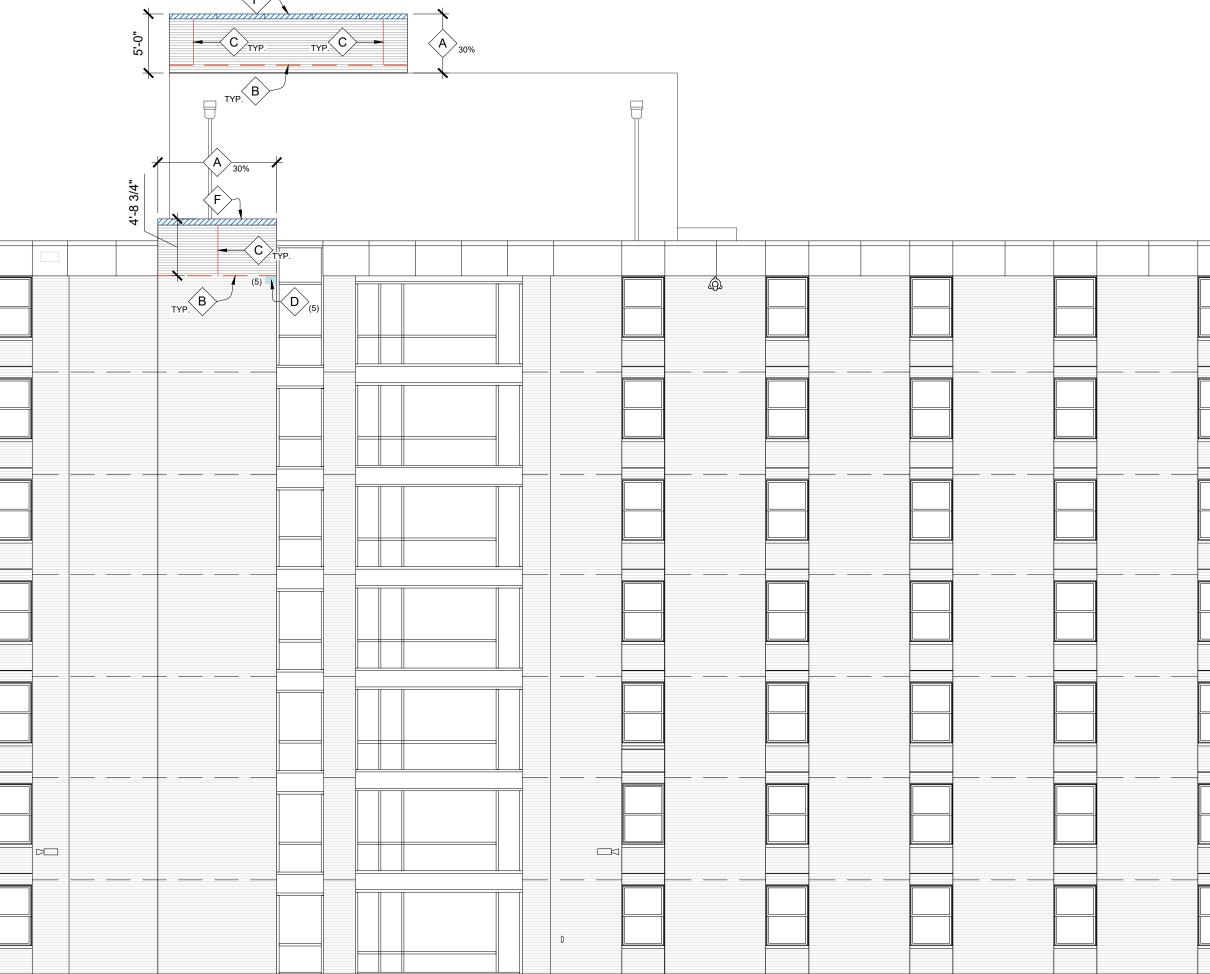




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← T.O. Par. 80' - 0 5/ ● Penthous 76' - 3"±	16"±					CONSTRUCT	ION TRAF /ER 1-1/2	ING ROOF F FIC W/ MIN " POLYSTYF TING ROOF	I. 1/2" PLY\ RENE - SEE	WOOD
♥ 80' - 0 5/ ♥ Penthous 76' - 3"±	16"± se Roof	A 409	×			CONSTRUCT	ION TRAF /ER 1-1/2	FIC W/ MIN " POLYSTYF	I. 1/2" PLY\ RENE - SEE	WOOD
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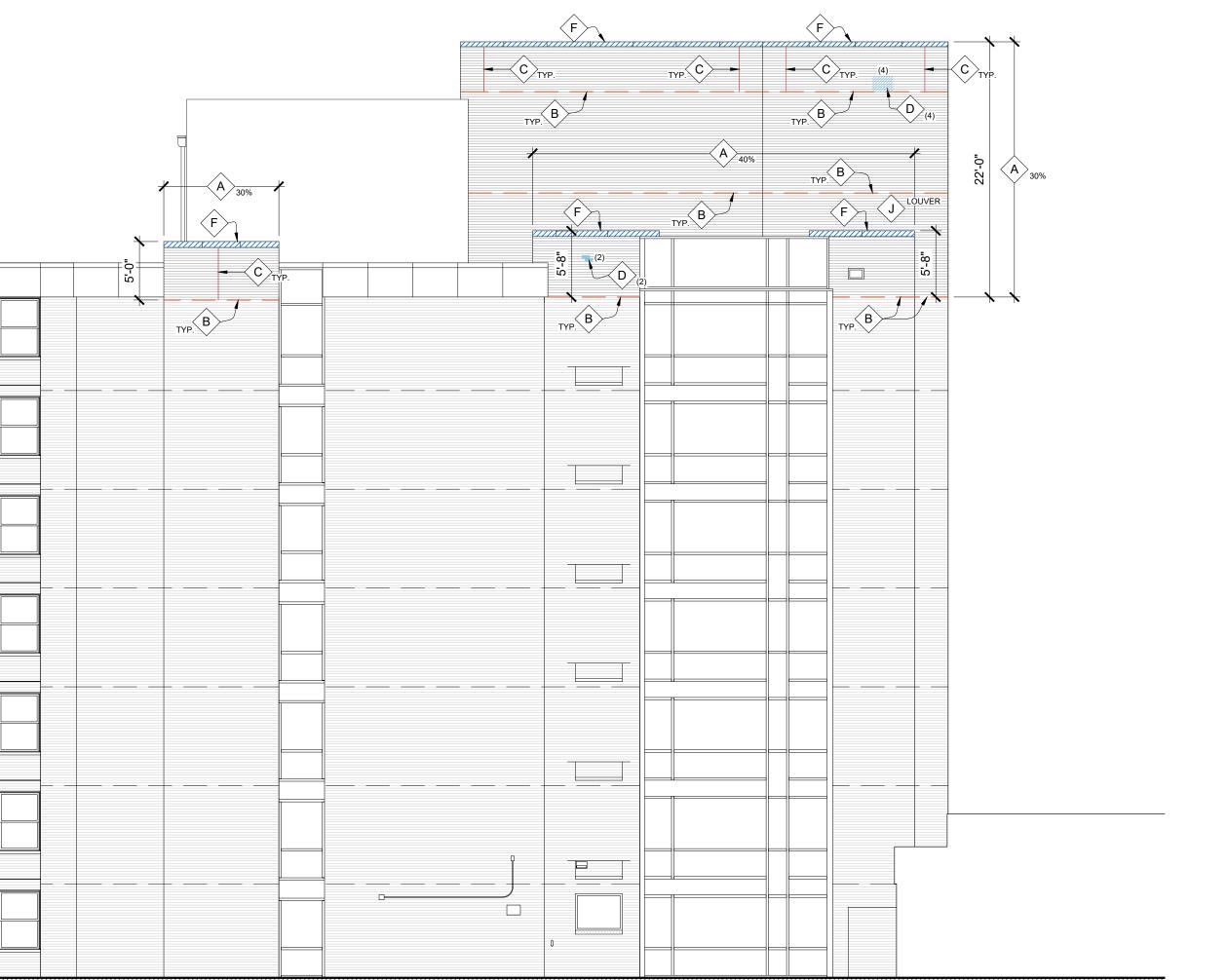
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	CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT	A REPOINT DEFECTIVE EXISTING MORTAR JOINTS IN BRICK MASONRY -	1. FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HERE-IN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING	$ \begin{bmatrix} & 3 \\ 24 \\ 24 \end{bmatrix} \begin{bmatrix} & 3 \\ 34 \\ 34 \end{bmatrix} \begin{bmatrix} & 3 \\ 34 \\ 34 \end{bmatrix} \begin{bmatrix} & 3 \\ 34 \\ 34 \end{bmatrix} = \begin{bmatrix} & 3 \\ 34 \\ 34 \end{bmatrix} \begin{bmatrix} & 3 \\ 34 \\ 34 \end{bmatrix} = \begin{bmatrix} & 3 \\ 34 \end{bmatrix} = \begin{bmatrix} & 3 \\ 34 \\ 34 \end{bmatrix} = \begin{bmatrix} & 3 \\ 34 \end{bmatrix} = \begin{bmatrix}$
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PROTECT EXISTING ROOF FROM ANY CONSTRUCTION TRAFFIC WI MIN. 1/2" PLYWOOD OVER 1-1/2" POLYSTYRENE OVER EXISTING ROOF - SEE		- TEMPORARY REMOVAL & REINSTALLATION TO BE BY UL CERTIFIED LIGHTNING PROTECTION SYSTEM INSTALLER. - PROVIDE "LETTER OF FINDING" FOR REINSTALLED SYSTEM. - COMPLY WITH UL 96 & NFPA 780.		<image/> <text><section-header><text><text><text><text><text><text></text></text></text></text></text></text></section-header></text>



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' → Penthouse 67' - 9 5/8"±	A 20%	, ТҮР.			A501]
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· → Penthouse 67' - 9 5/8"± F E → Roof 59' - 1 5/8"±		TYP.			A501	
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· E Penthouse 67' - 9 5/8"±		TYP.				
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$ \begin{array}{c} $		TYP.				
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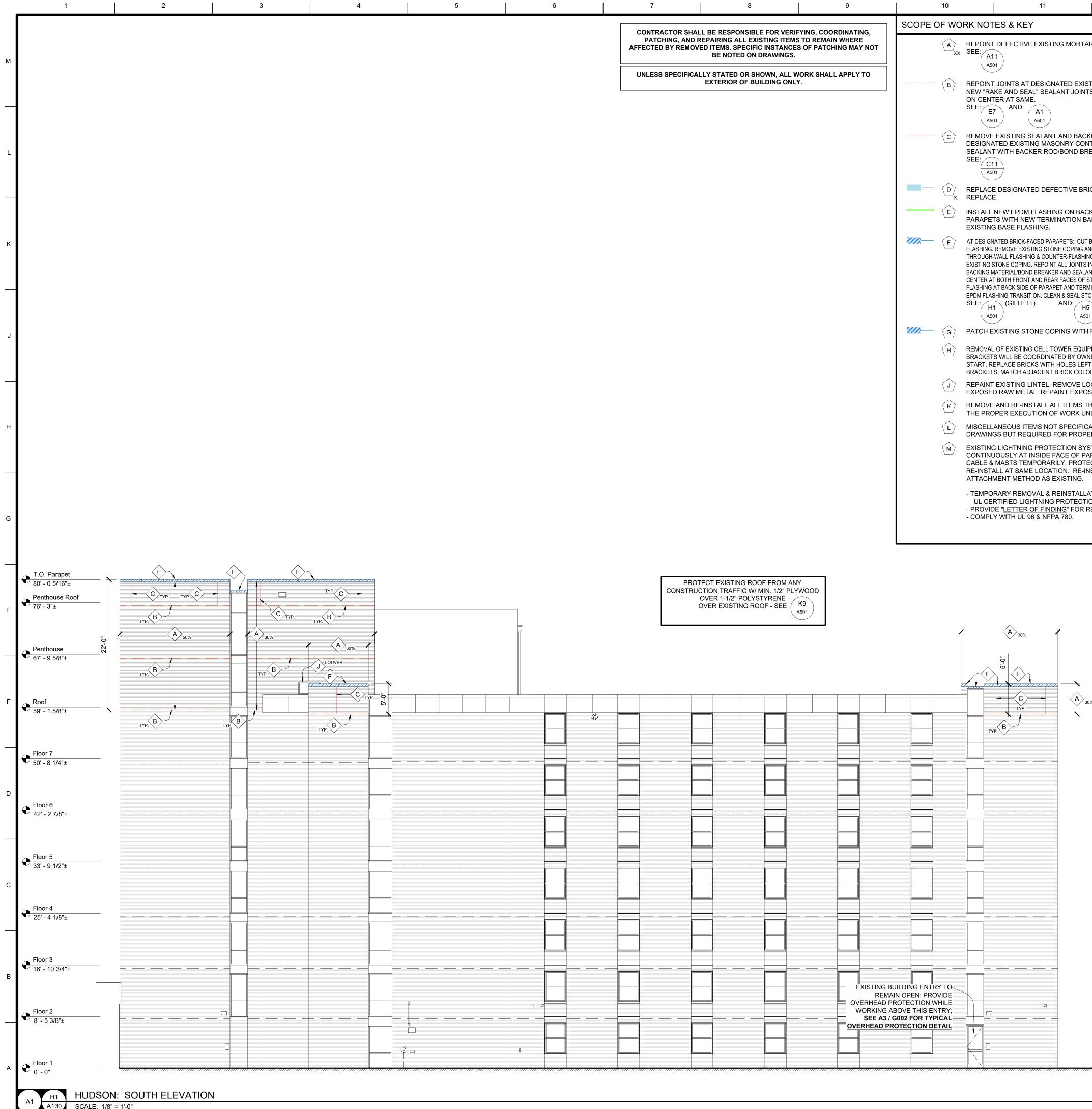
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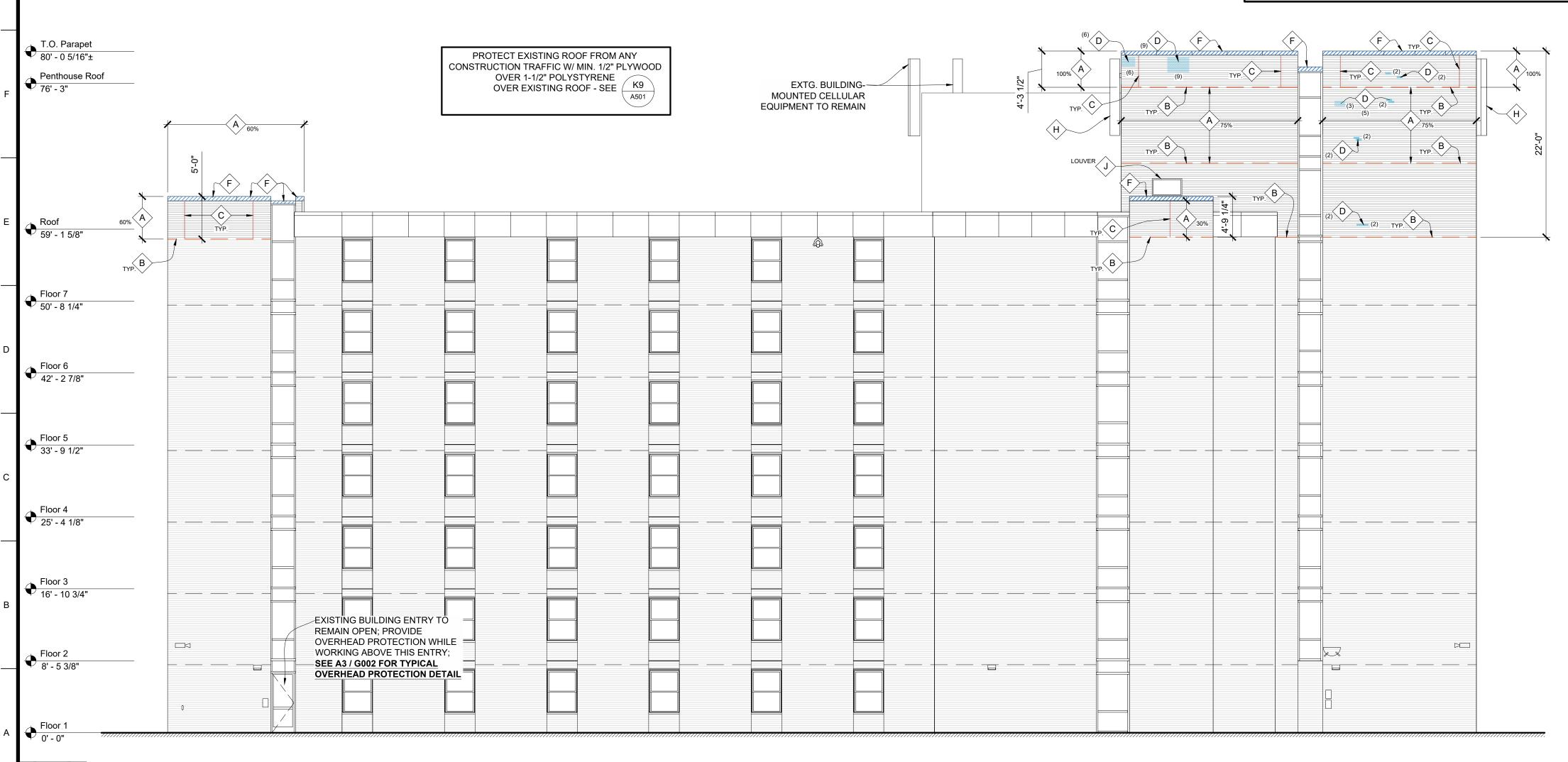


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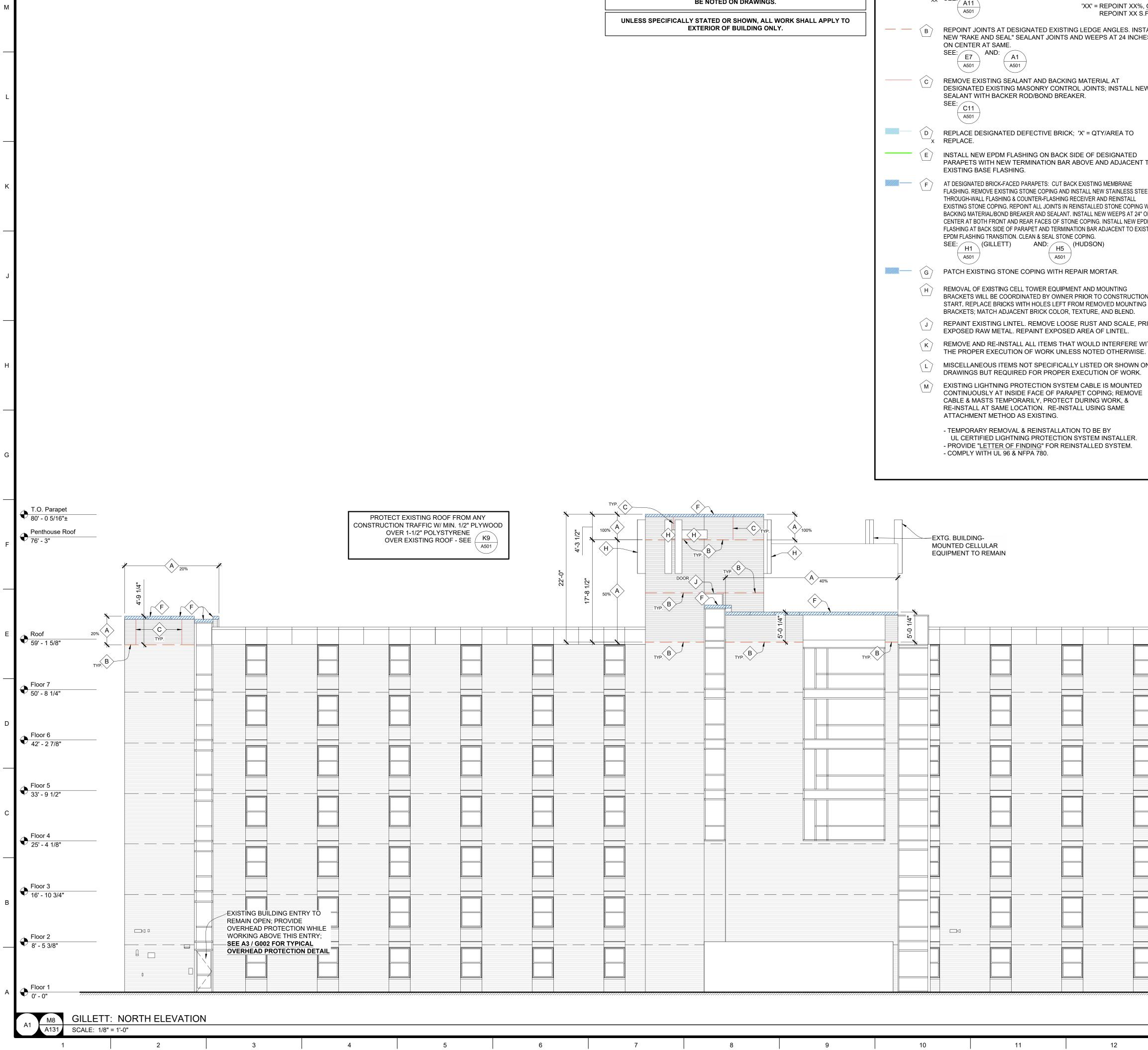
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	4. RE	EMOVE ALL EXISTING BUILDING EL	GTUD, OR MASONRY, UNLESS OTHERWISE NOTE LEMENTS AS NOTED AND THOSE THAT WOULD REPRESENTATIVE REMOVAL OF ANY ITEMS NO	INTERFERE WITH THE INSTALLATION OF		•		3,11	2,4,	111111 12' 6'	
V	5. PF TH	ROTECT ALL ADJACENT AREAS, IN(CLUDING LANDSCAPING NOT DESIGNATED FOR BE REPAIRED BY THE OWNER; THE CONTRACT(WORK, FROM DAMAGE AS A RESULT OF		150' 100'		1, <u>1</u> , <u>1</u> , <u>2</u> , <u>2</u> , <u>2</u> ,	щъ, Ц	10' 8' 8'	L
	CC RE	ONTRACTORS NATIONAL ASSOCIA	SED ON STANDARD DETAILS FROM THE SHEETM TION (SMACNA). NOTIFY OWNER'S REPRESENT I THOSE SHOWN. DO NOT PROCEED WITH WOR	ATIVE OR FABRICATOR OF INSTALLATION		1:10 0 150'	-1/2" [[]]	1/2" 0 3'	3/8" [1/8" 0 12'	
го			K IN ACCORDANCE WITH THE BRICK INDUSTRY / CT DOCUMENTS, WHICHEVER IS THE MOST STR				[
EL			OWED ON THE ROOF WITHOUT PROTECTION BC RMITTED BY THE OWNER'S REPRESENTATIVE.	ARDS AS DEFINED IN THE PROJECT							к
VITH			CE WITH SCAFFOLDING SUCH AS COPINGS, FLA	ASHINGS, AND OTHER LIKE ITEMS.							
N M TING		ROTECT ALL BUILDING ENTRANCES E TAIL.	S WHEN DOING WORK OVERHEAD; SEE A3 / GOO	2 FOR TYPICAL OVERHEAD PROTECTION							
	11. CC	OORDINATE ALL REQUIRED UTILITI	IES WITH OWNER.								
		O NOT SCALE DRAWINGS - WHERE ROCEEDING WITH THE WORK.	DIMENSIONAL DISCREPANCIES ARE ENCOUNT	ERED NOTIFY ARCHITECT PRIOR TO							
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тн	AE	DDITIONAL COST TO THE OWNER. I	PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS								
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	PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.	A REPOINT DEFECTIVE EXISTING MORTAR JOINTS IN BRICK MASONRY - XX SEE: A11 'XX' = REPOINT XX%, OR	 FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HERE-IN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY. THESE DRAWINGS CONVEY THE DESIGN INTENT 	
	UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.	A501 REPOINT XX S.F. B REPOINT JOINTS AT DESIGNATED EXISTING LEDGE ANGLES. INSTALL NEW "RAKE AND SEAL" SEALANT JOINTS AND WEEPS AT 24 INCHES	 ONLY. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK. 	16' 20' 16' 20'
		ON CENTER AT SAME. SEE: E7 A501 AND: A1 A501	3. ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.	$\begin{bmatrix} 2 & 4 & 4 & 4 \\ 2 & 4 & 4 $
		C REMOVE EXISTING SEALANT AND BACKING MATERIAL AT DESIGNATED EXISTING MASONRY CONTROL JOINTS; INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER. SEE: C11	 REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION. PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE DEPAUED 	
		$D_{X} = \frac{C11}{A501}$ REPLACE DESIGNATED DEFECTIVE BRICK; 'X' = QTY/AREA TO X REPLACE.	 OF THE REPAIRS. FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED 	0 0 150' 2' 2' 2' 1' 1' 1'
		E INSTALL NEW EPDM FLASHING ON BACK SIDE OF DESIGNATED PARAPETS WITH NEW TERMINATION BAR ABOVE AND ADJACENT TO EXISTING BASE FLASHING.	 FROM OWNER'S REPRESENTATIVE. PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT. 	
		AT DESIGNATED BRICK-FACED PARAPETS: CUT BACK EXISTING MEMBRANE FLASHING. REMOVE EXISTING STONE COPING AND INSTALL NEW STAINLESS STEEL THROUGH-WALL FLASHING & COUNTER-FLASHING RECEIVER AND REINSTALL EXISTING STONE COPING. REPOINT ALL JOINTS IN REINSTALLED STONE COPING WITH	 NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE. PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS. 	
		BACKING MATERIAL/BOND BREAKER AND SEALANT. INSTALL NEW WEEPS AT 24" ON CENTER AT BOTH FRONT AND REAR FACES OF STONE COPING. INSTALL NEW EPDM FLASHING AT BACK SIDE OF PARAPET AND TERMINATION BAR ADJACENT TO EXISTING	10. PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD; SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION	
		EPDM FLASHING TRANSITION. CLEAN & SEAL STONE COPING. SEE: (H1 (A501) (GILLETT) AND: (HUDSON) (HUDSON)	 COORDINATE ALL REQUIRED UTILITIES WITH OWNER. DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO 	
		G PATCH EXISTING STONE COPING WITH REPAIR MORTAR.	PROCEEDING WITH THE WORK. 13. INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN	
		H REMOVAL OF EXISTING CELL TOWER EQUIPMENT AND MOUNTING BRACKETS WILL BE COORDINATED BY OWNER PRIOR TO CONSTRUCTION START. REPLACE BRICKS WITH HOLES LEFT FROM REMOVED MOUNTING BRACKETS; MATCH ADJACENT BRICK COLOR, TEXTURE, AND BLEND. J REPAINT EXISTING LINTEL. REMOVE LOOSE RUST AND SCALE, PRIME EXPOSED RAW METAL. REPAINT EXPOSED AREA OF LINTEL.	SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FUTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE; RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO	
		K REMOVE AND RE-INSTALL ALL ITEMS THAT WOULD INTERFERE WITH THE PROPER EXECUTION OF WORK UNLESS NOTED OTHERWISE.	ADDITIONAL COST TO THE OWNER. PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK. 14. LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.	
		MISCELLANEOUS ITEMS NOT SPECIFICALLY LISTED OR SHOWN ON DRAWINGS BUT REQUIRED FOR PROPER EXECUTION OF WORK.	15. UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.	
		CONTINUOUSLY AT INSIDE FACE OF PARAPET COPING; REMOVE CABLE & MASTS TEMPORARILY, PROTECT DURING WORK, & RE-INSTALL AT SAME LOCATION. RE-INSTALL USING SAME ATTACHMENT METHOD AS EXISTING.		
		- TEMPORARY REMOVAL & REINSTALLATION TO BE BY UL CERTIFIED LIGHTNING PROTECTION SYSTEM INSTALLER. - PROVIDE "LETTER OF FINDING" FOR REINSTALLED SYSTEM.		
		- PROVIDE " <u>LETTER OF FINDING</u> " FOR REINSTALLED SYSTEM. - COMPLY WITH UL 96 & NFPA 780.		
	TYP. C F			
PROTECT EXISTING ROOF FROM ANY CONSTRUCTION TRAFFIC W/ MIN. 1/2" PLYWOOD OVER 1-1/2" POLYSTYRENE OVER EXISTING ROOF - SEE		EXTG. BUILDING-		Peckham & Wright Architects, Inc., d.b.a. PWArchitects, Inc.
	H H	MOUNTED CELLULAR EQUIPMENT TO REMAIN		2120 Forum Blvd., Ste. 101 Columbia, Missouri 65203 PWArchitects.com 573.449.2683 Peckham & Wright Architects an Architectural Corporation
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				Project CP231031 VARIOUS LOCATIONS - REPAIR MASONRY STAIR TOWE AT HUDSON AND GILLETT COLUMBIA, MO University of Missouri For: The Curators of the University of Missouri For: The Curators of the University of Missouri ER, DP CAD File Name (Number): ER A201.DWGDrawing Title:
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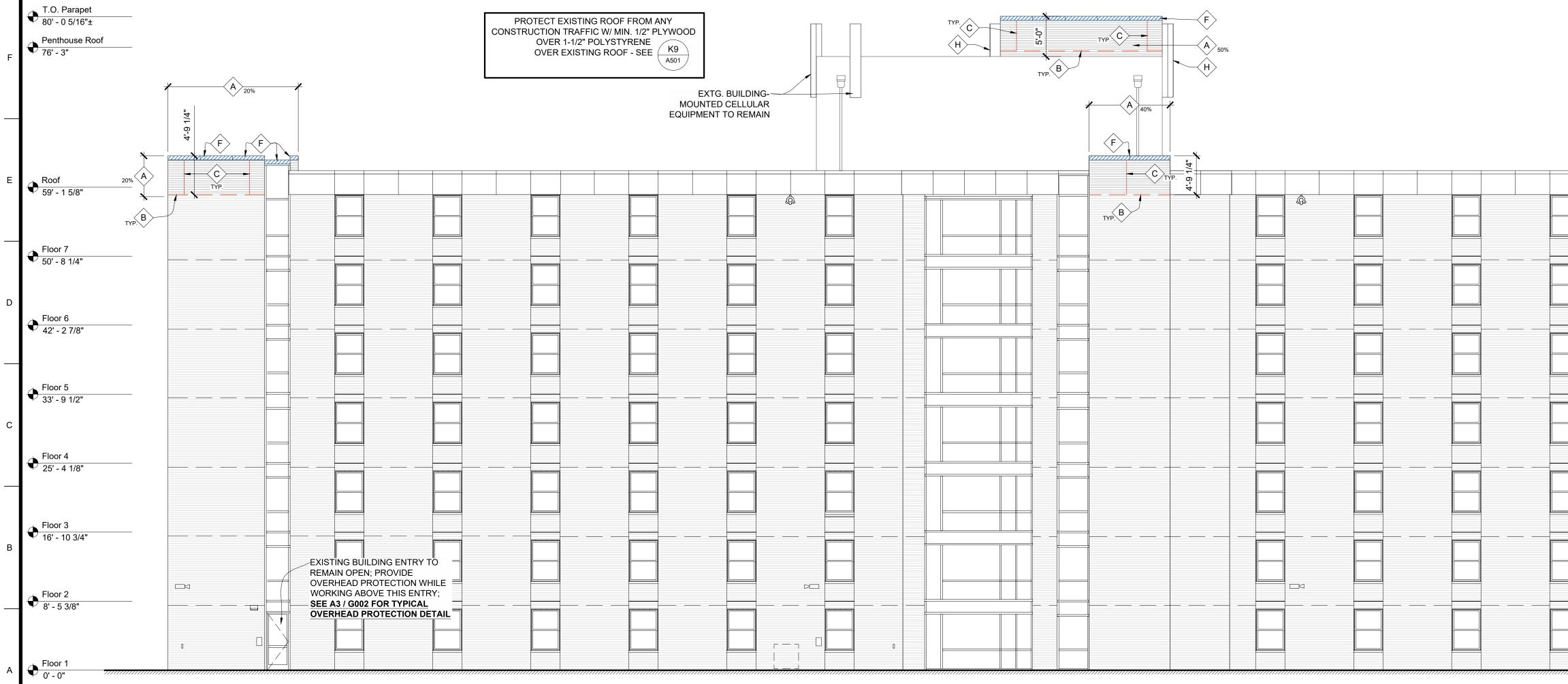
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	C REMOVE EXISTING SEALANT AND BACKING MATERIAL AT DESIGNATED EXISTING MASONRY CONTROL JOINTS; INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER.	 REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION. PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF 	
	SEALANT WITH BACKER ROD/BOND BREAKER. SEE: C11 A501	 THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS. FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING 	
	D REPLACE DESIGNATED DEFECTIVE BRICK; 'X' = QTY/AREA TO X REPLACE. E INSTALL NEW EPDM FLASHING ON BACK SIDE OF DESIGNATED	CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.	1:10 0 1: 1:2° 0 15° 15° 15° 15° 15° 15° 15° 15° 15° 15°
	PARAPETS WITH NEW TERMINATION BAR ABOVE AND ADJACENT TO EXISTING BASE FLASHING.	PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.	<u> </u>
	AT DESIGNATED BRICK-FACED PARAPETS: CUT BACK EXISTING MEMBRANE FLASHING. REMOVE EXISTING STONE COPING AND INSTALL NEW STAINLESS STEEL THROUGH-WALL FLASHING & COUNTER-FLASHING RECEIVER AND REINSTALL EXISTING STONE COPING. REPOINT ALL JOINTS IN REINSTALLED STONE COPING WIT	 NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE. PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS. 	
	BACKING MATERIAL/BOND BREAKER AND SEALANT. INSTALL NEW WEEPS AT 24" ON CENTER AT BOTH FRONT AND REAR FACES OF STONE COPING. INSTALL NEW EPDM FLASHING AT BACK SIDE OF PARAPET AND TERMINATION BAR ADJACENT TO EXISTIN	10. PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD; SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION	
	EPDM FLASHING TRANSITION. CLEAN & SEAL STONE COPING. SEE: (GILLETT) (GILLETT) AND: (HUDSON) (HUDSON) (HUDSON)	11. COORDINATE ALL REQUIRED UTILITIES WITH OWNER.	
	G PATCH EXISTING STONE COPING WITH REPAIR MORTAR.	 DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN 	
	H REMOVAL OF EXISTING CELL TOWER EQUIPMENT AND MOUNTING BRACKETS WILL BE COORDINATED BY OWNER PRIOR TO CONSTRUCTION START. REPLACE BRICKS WITH HOLES LEFT FROM REMOVED MOUNTING	13. INDEPENDENT LESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FUTHER TESTS MAY	
	BRACKETS; MATCH ADJACENT BRICK COLOR, TEXTURE, AND BLEND. J REPAINT EXISTING LINTEL. REMOVE LOOSE RUST AND SCALE, PRIN EXPOSED RAW METAL. REPAINT EXPOSED AREA OF LINTEL.	E BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE; RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE	
	K REMOVE AND RE-INSTALL ALL ITEMS THAT WOULD INTERFERE WITH THE PROPER EXECUTION OF WORK UNLESS NOTED OTHERWISE.		
	L MISCELLANEOUS ITEMS NOT SPECIFICALLY LISTED OR SHOWN ON DRAWINGS BUT REQUIRED FOR PROPER EXECUTION OF WORK.	 LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY. UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES. 	
	M EXISTING LIGHTNING PROTECTION SYSTEM CABLE IS MOUNTED CONTINUOUSLY AT INSIDE FACE OF PARAPET COPING; REMOVE CABLE & MASTS TEMPORARILY, PROTECT DURING WORK, & RE-INSTALL AT SAME LOCATION. RE-INSTALL USING SAME		
	ATTACHMENT METHOD AS EXISTING. - TEMPORARY REMOVAL & REINSTALLATION TO BE BY		
	UL CERTIFIED LIGHTNING PROTECTION SYSTEM INSTALLER. - PROVIDE " <u>LETTER OF FINDING</u> " FOR REINSTALLED SYSTEM. - COMPLY WITH UL 96 & NFPA 780.		
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			2023.12.05
			Project CP231031 VARIOUS LOCATIONS - REPAIR MASONRY STAIR TOWERS
			AT HUDSON AND GILLETT COLUMBIA, MO
			University of Missouri For: The Curators of the University of Missouri Drawn: Project Number:
			ER, DP202302Checked:CAD File Name (Number):
			ER A201.DWG
			NEW WORK: ELEVATIONS: GILLETT
			No. Revisions: Date:
			Submission Date: 2023.12.05 Drawing Number: A208
			Plot Date: A200 2023.11.21
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