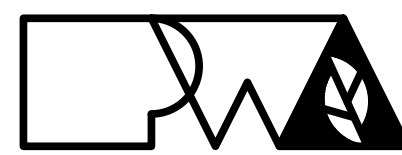


VARIOUS LOCATIONS - REPAIR MASONRY STAIR TOWERS AT HUDSON AND GILLETT

Project CP231031
UNIVERSITY OF MISSOURI
FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI
COLUMBIA, MISSOURI



PREPARED BY:



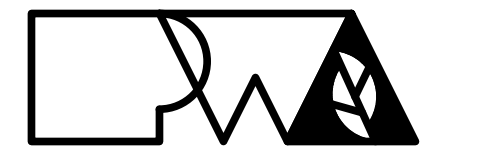
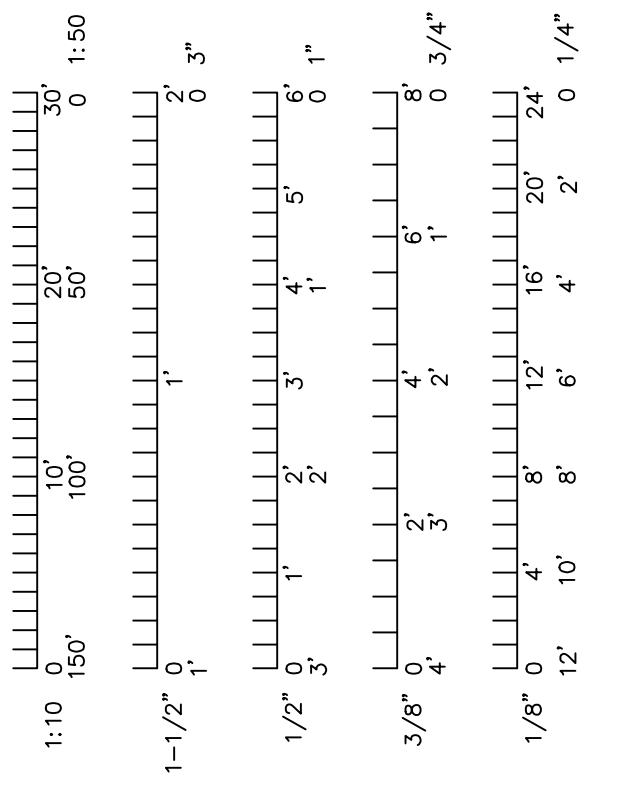
2120 FORUM BLVD., STE 101
COLUMBIA, MISSOURI 65203
OFFICE: 573.449.2683
WWW.PWARCHITECTS.COM

Issued for Bid:
December 5, 2023

"I HEREBY CERTIFY THESE DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND/OR SPECIFICATIONS ARE AS REQUIRED BY AND IN COMPLIANCE WITH THE BUILDING CODES OF THE UNIVERSITY OF MISSOURI."



SIGNATURE
PW ARCHITECTS, INC.
ISSUED: 12/05/2023



Peckham & Wright Architects, Inc., d.b.a.
PWArchitects, Inc.
2120 Forum Blvd., Ste. 101
Columbia, Missouri 65203
PWArchitects.com | 573.449.2683
Peckham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



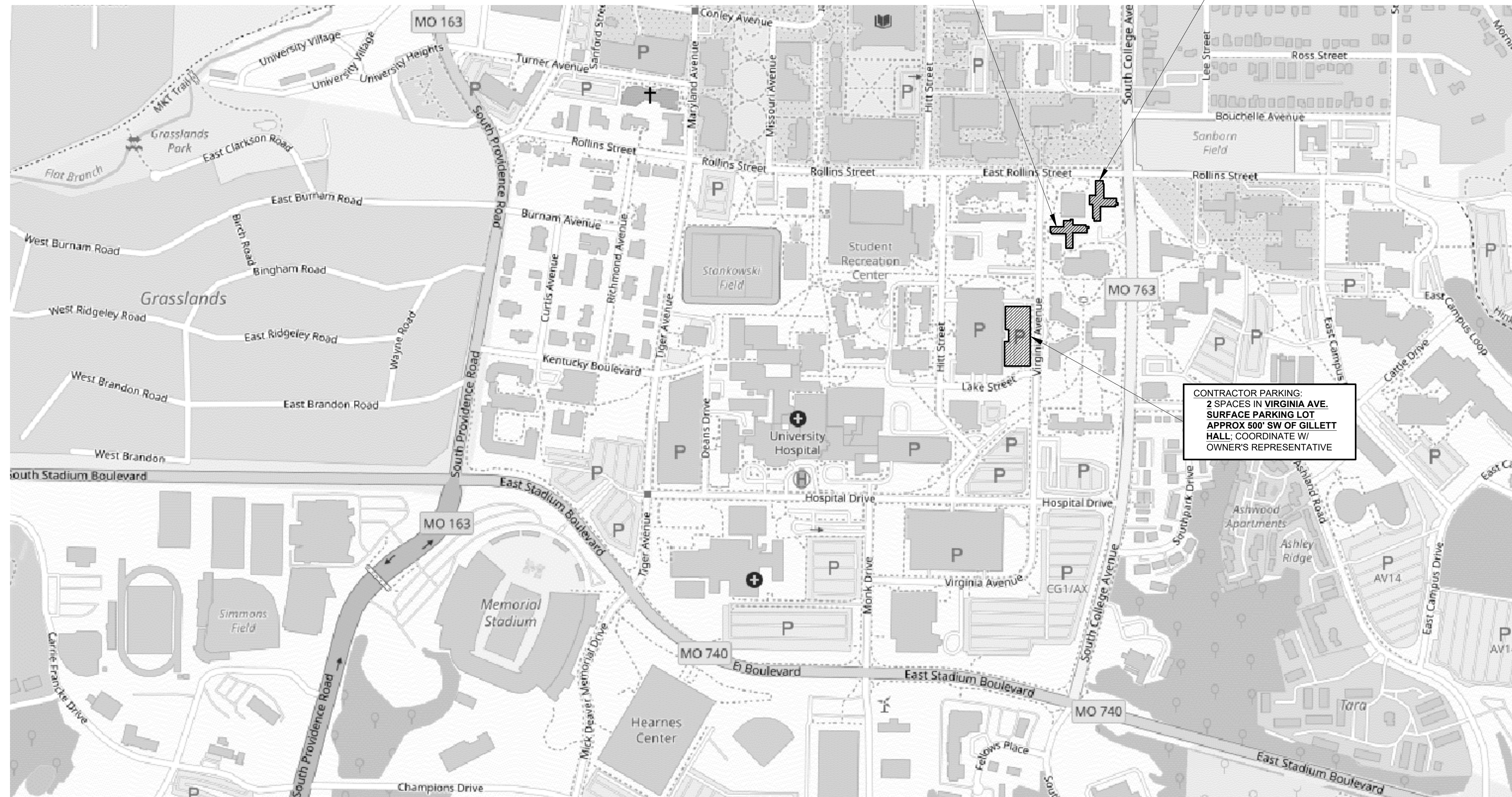
Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	Project Number:
ER, DP	202302
Checked:	CAD File Name (Number):
ER	G001.DWG

Drawing Title:
COVER SHEET

No.	Revisions:	Date:

Submission Date:	Drawing Number:
2023.12.05	G001
Plot Date:	
2023.11.21	



PROJECT SITE:
GILLETT HALL
800 VIRGINIA AVE.
COLUMBIA, MO.

PROJECT SITE:
HUDSON HALL
1202 ROLLINS ST.
COLUMBIA, MO.

CONTRACTOR PARKING:
2 SPACES IN VIRGINIA AVE,
SURFACE PARKING LOT
APPROX 500' SW OF GILLETT
HALL, COORDINATE W/
OWNER'S REPRESENTATIVE

GENERAL	
G001 - COVER SHEET	
G002 - LOCATION MAPS, LIST OF DRAWINGS, & LEGENDS	
G003 - STAGING & TRAFFIC CONTROL: HUDSON & GILLETT	
ARCHITECTURAL	
A130 - NEW WORK: PLANS: HUDSON	
A131 - NEW WORK: PLANS: GILLETT	
A201 - NEW WORK: ELEVATIONS: HUDSON	
A202 - NEW WORK: ELEVATIONS: HUDSON	
A203 - NEW WORK: ELEVATIONS: HUDSON	
A204 - NEW WORK: ELEVATIONS: HUDSON	
A205 - NEW WORK: ELEVATIONS: GILLETT	
A206 - NEW WORK: ELEVATIONS: GILLETT	
A207 - NEW WORK: ELEVATIONS: GILLETT	
A208 - NEW WORK: ELEVATIONS: GILLETT	
A501 - NEW WORK: DETAILS	

BUILDING CODE (IBC 2021)

THIS IS AN EXTERIOR MAINTENANCE AND/OR REPAIR PROJECT.

- NO NEW AREA IS BEING ADDED.
- THERE IS NO CHANGE TO THE EXISTING USE OR OCCUPANCY OF ANY OF THE BUILDINGS.
- THERE IS NO CHANGE TO EGRESS.

SPECIAL INSPECTIONS (IBC 1704): NO SPECIAL INSPECTIONS ARE REQUIRED ON THIS PROJECT.

DEFERRED SUBMITTALS: NO DEFERRED SUBMITTALS ARE REQUIRED ON THIS PROJECT.

J13 LIST OF DRAWINGS

SCALE: NTS

	LARGE SCALE	SMALL SCALE	
BRICK MASONRY UNIT			PLAN, SECTION ELEVATION
CONCRETE MASONRY UNIT			PLAN, SECTION ELEVATION
CONCRETE			PLAN, SECTION
GRouted AREA OF: CMU/CAVITY/DOOR FRAME			PLAN, SECTION
MISCELLANEOUS ITEMS: AS NOTED ON EACH SHEET			PLAN, SECTION, ELEVATION
INSULATION			PLAN, SECTION
ROOF SHINGLES			PLAN, SECTION, ELEVATION
CONTINUOUS WOOD FRAMING			PLAN, SECTION
WOOD BLOCKING			PLAN, SECTION
PLYWOOD			PLAN, SECTION
EXISTING BUILDING			PLAN, SECTION

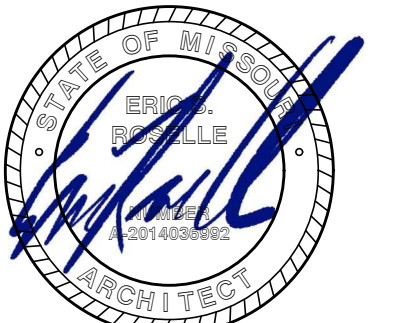
LIST OF APPLICABLE CODES

- INTERNATIONAL BUILDING CODE - 2021
- INTERNATIONAL MECHANICAL CODE - 2021
- INTERNATIONAL FIRE CODE - 2021
- NATIONAL ELECTRIC CODE/NFPA 70 - 2020
- NFPA 110 STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS - 2019
- NFPA 72 NATIONAL FIRE ALARM CODE - 2019
- NFPA 518 STANDARD FOR FIRE PREVENTION DURING WELDING, CUTTING, AND OTHER HOT WORK - 2019
- NFPA 14 STANDARD FOR THE INSTALLATION OF STANDPIPE, PRIVATE HYDRANTS AND HOSE SYSTEMS - 2019
- NFPA 13 INSTALLATION OF FIRE SPRINKLER SYSTEMS - 2019
- ASHRAE 90.1 - ENERGY STANDARD FOR BUILDINGS - 2019
- AMERICANS WITH DISABILITIES ACT - STANDARDS FOR ACCESSIBLE DESIGN 2010



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Columbia, Missouri 65203
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Pecham & Wright Architects an Architectural Corporation
Missouri State Certificate of Authority No. 000244



Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn: ER, DP
Checked: ER
Project Number: 202302
CAD File Name (Number): G002.DWG

LOCATION MAPS, LIST OF DRAWINGS, & LEGENDS

No.	Revisions:	Date:

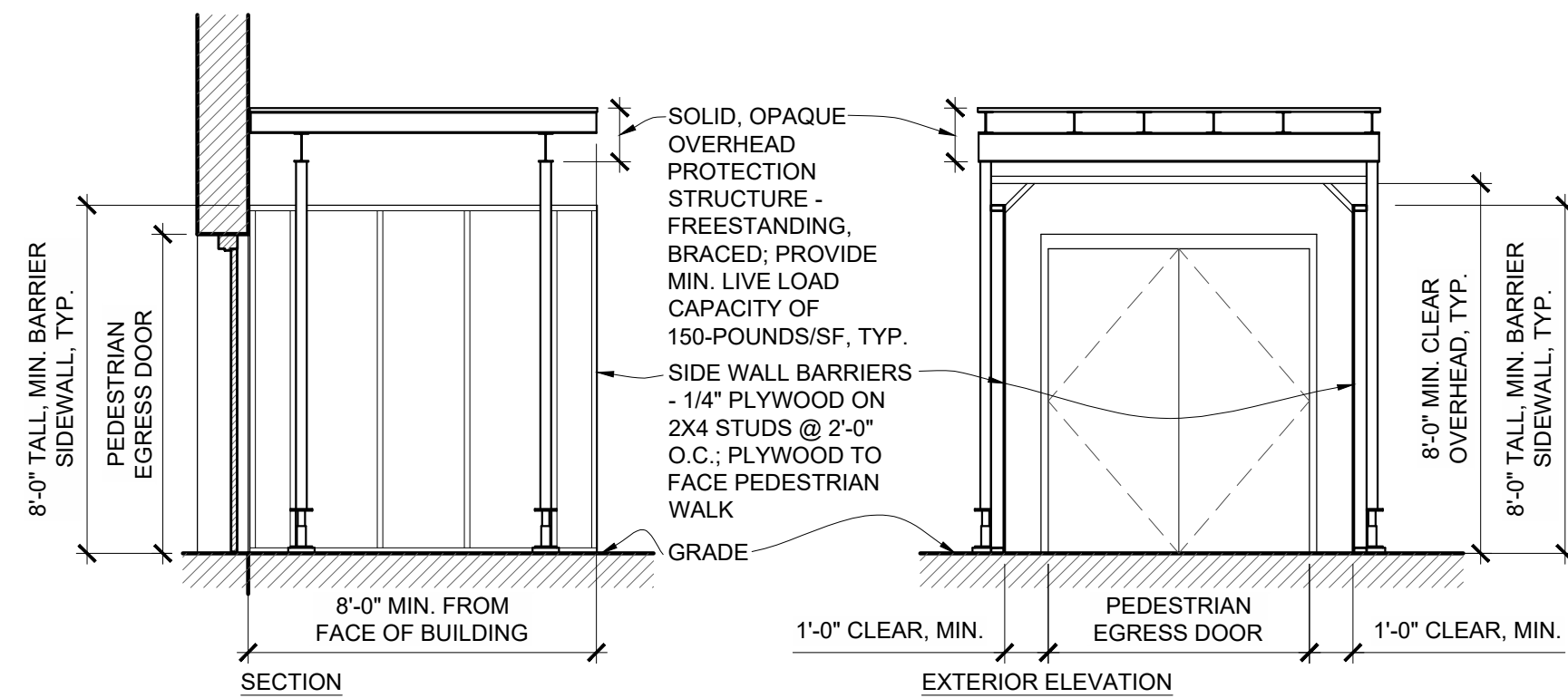
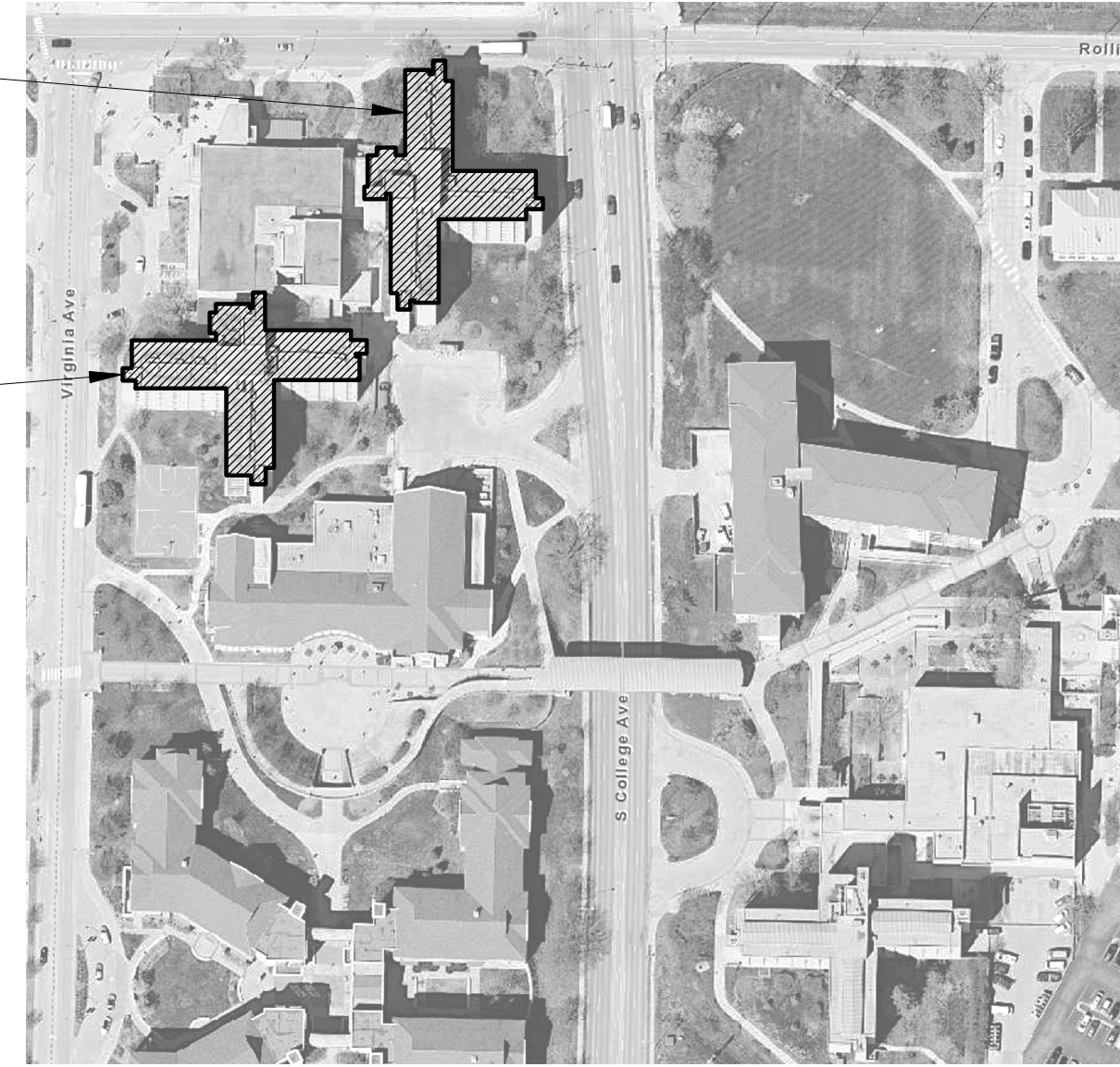
Submission Date: 2023.12.05
Drawing Number: G002
Plot Date: 2023.11.21

E1 LOCATION MAP - OVERALL

SCALE: N.T.S.

PROJECT SITE:
HUDSON HALL
1202 ROLLINS ST.
COLUMBIA, MO.

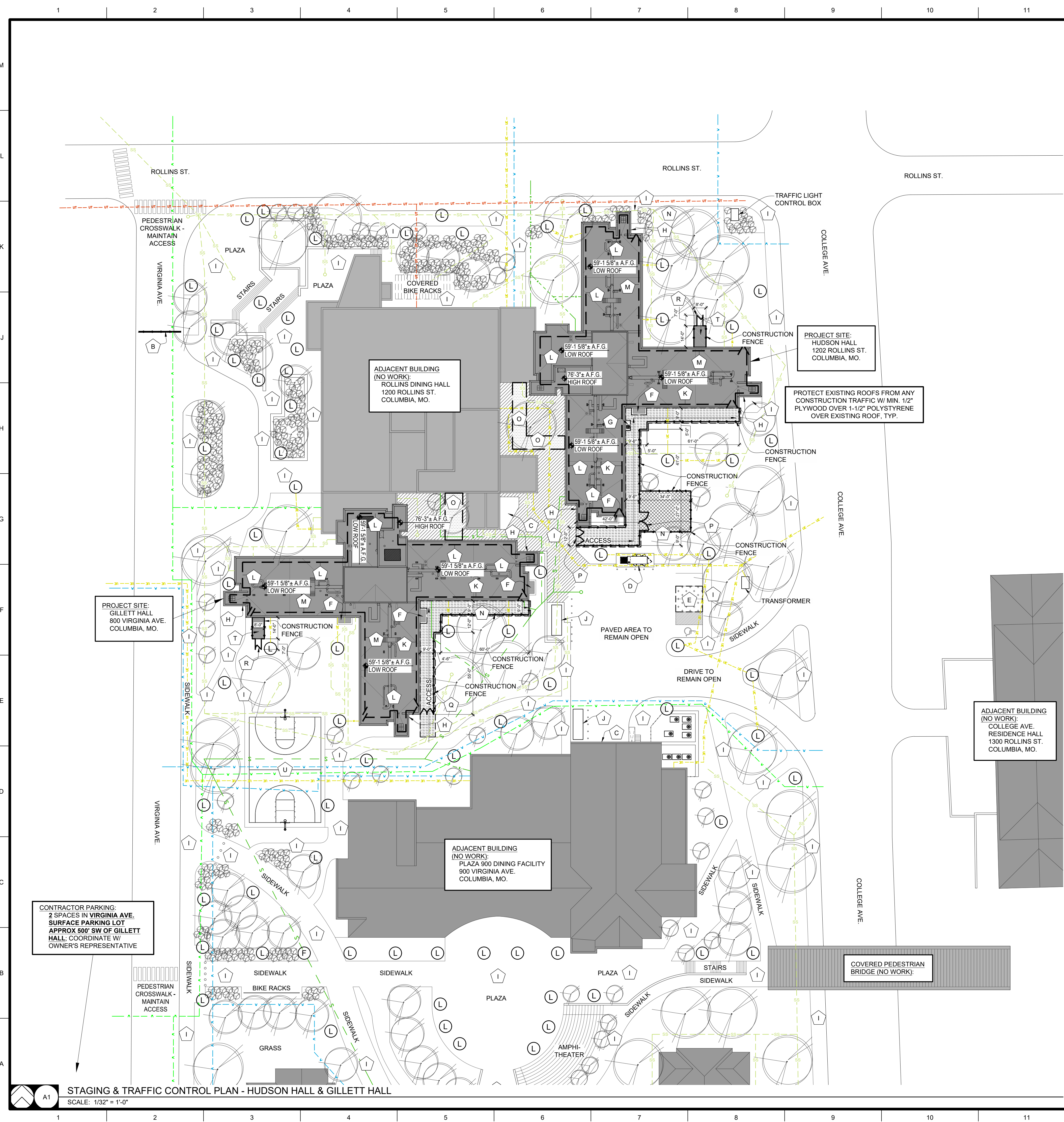
PROJECT SITE:
GILLETT HALL
800 VIRGINIA AVE.
COLUMBIA, MO.



A3 TYPICAL OVERHEAD PROTECTION @ PEDESTRIAN ENTRIES
SCALE: 1/4" = 1'-0"

A8 HUDSON HALL & GILLETT HALL - LOCATION MAP
SCALE: N.T.S.

A13 SYMBOL LEGEND
SCALE: NTS



SCOPE OF WORK NOTES

- A NOT USED.
- B NOT USED.
- C EXISTING LOADING DOCK TO REMAIN OPEN WITH UNRESTRICTED ACCESS FOR DURATION OF PROJECT.
- D EXISTING GENERATOR TO REMAIN - PROTECT. MAINTAIN CLEAR SPACE AROUND GENERATOR FOR OWNER'S SUMMER LOAD TESTING TO TAKE PLACE DURING JUNE & JULY 2023. COORDINATE WITH OWNER.
- E CONTRACTOR DUMPSTER LOCATION. FINAL LOCATION TO BE COORDINATED WITH OWNER.
- F EXISTING EQUIPMENT VENTILATION GRILLE. PROTECT DURING CONSTRUCTION. RESTRICT LOADING AS DIRECTED BY OWNER. VEHICULAR LOADING NOT ALLOWED.
- G EXISTING HVAC SCREEN / ENCLOSURE FOR CONDENSING UNIT & DISCONNECT TO REMAIN. PROTECT.
- H EXISTING BUILDING ENTRY TO REMAIN OPEN. PROVIDE OVERHEAD PROTECTION WHILE WORKING ABOVE THIS ENTRY. SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION DETAIL.
- I EXISTING WALKWAY TO REMAIN AVAILABLE FOR PEDESTRIAN USE. COORDINATE ANY TEMPORARY CLOSURE WITH OWNER'S REPRESENTATIVE. IF CLOSED, PROVIDE TEMPORARY FENCING AND / OR BARRICADES TO PREVENT USE.
- J EXISTING TRASH COMPACTOR TO REMAIN. PROTECT.
- K CONSTRUCTION ACCESS TO THIS SIDE OF THE BUILDING IS TO BE EITHER:
 - FROM THE GROUND, OR
 - FROM THE PARKING LOT - CONTRACTOR IS RESPONSIBLE FOR COST OF TEMPORARY PARKING CLOSURE, OR
 - FROM THE ROOF VIA SWING STAGE. NOTE ROOF PROTECTION REQUIREMENTS, OR
 - FROM SCAFFOLDING, SET MAXIMUM 4'-0" OFF THE FACE OF BUILDING
- L CONSTRUCTION ACCESS AT THIS LOCATION IS TO BE:
 - FROM THE ROOF VIA SWING STAGE. NOTE ROOF PROTECTION AND OVERHEAD PROTECTION REQUIREMENTS
 - NO VEHICULAR ACCESS IS ALLOWED ON WEST SIDE OF HUDSON OR NORTH SIDE OF GILLETT DUE TO PRESENCE OF EXISTING UNDERGROUND STEAM TUNNELS AND OTHER UTILITIES.
- M CONSTRUCTION ACCESS AT THIS LOCATION IS TO BE EITHER:
 - FROM THE GROUND, OR
 - FROM THE ROOF VIA SWING STAGE. NOTE ROOF PROTECTION AND OVERHEAD PROTECTION REQUIREMENTS
- N AT TEMPORARY ACCESS LANES AND CONTRACTOR STAGING, AT DRIPLINE OF TREES TO REMAIN, PROTECT EXISTING TREE ROOTBALL AND ROOT SYSTEM. MINIMIZE WEIGHT & VEHICULAR TRAFFIC.
- O EXISTING STEAM TUNNEL BELOW GRADE. NO CONSTRUCTION TRAFFIC ALLOWED.
- P PROVIDE 12'-0" WIDE MOVABLE GATE IN CONSTRUCTION FENCE.
- Q PROVIDE 9'-0" WIDE MOVABLE GATE IN CONSTRUCTION FENCE.
- R PROVIDE 4'-0" WIDE MOVABLE GATE IN CONSTRUCTION FENCE.
- S PROTECT EXISTING LANDSCAPE IN WORK AREAS. PROVIDE A MEANS OF COLLECTING FALLING DEBRIS IN WORK AREAS SUCH AS TARPS OR OTHER EQUIPMENT.
- T SCAFFOLD STAIR TOWER LOCATION, IF REQUIRED, IF SCAFFOLD IS USED.
- U EXISTING BASKETBALL COURT. NOT USABLE BY CONTRACTOR FOR STAGING, MATERIALS STORAGE / LAYDOWN, OR OTHER PURPOSES.

OWNER TO PRUNE EXISTING TREES/VEGETATION TO PROVIDE MIN. 4'-0" CLEAR @ PERIMETER OF BUILDING. COORDINATE REMOVAL OF ANY EXISTING LANDSCAPING / TREES WITH OWNER'S REPRESENTATIVE. MU LANDSCAPING SERVICES WILL REMOVE AND/OR PRUNE BACK TREES IN COORDINATION WITH OWNER'S REPRESENTATIVE.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY PATCHED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

CONSTRUCTION SEQUENCING NOTES

- REPAIR WORK ON THE BUILDING IS TO BE COMPLETED IN THE FOLLOWING ORDER. ON COMPLETION OF EACH STAGE OF WORK, OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING TO THE NEXT WORK AREA:
- HUDSON HALL:**
- WORK AREA 1: NORTH AND EAST ELEVATIONS
 - WORK AREA 2: SOUTH ELEVATION
 - WORK AREA 3: WEST ELEVATION
- GILLETT HALL:**
- WORK AREA 1: WEST AND SOUTH ELEVATIONS
 - WORK AREA 2: EAST ELEVATION
 - WORK AREA 3: NORTH ELEVATION
- ALL WORK AT WORK AREAS 1 & 2 FOR BOTH BUILDINGS MUST BE COMPLETED BY AUGUST 14, 2024.

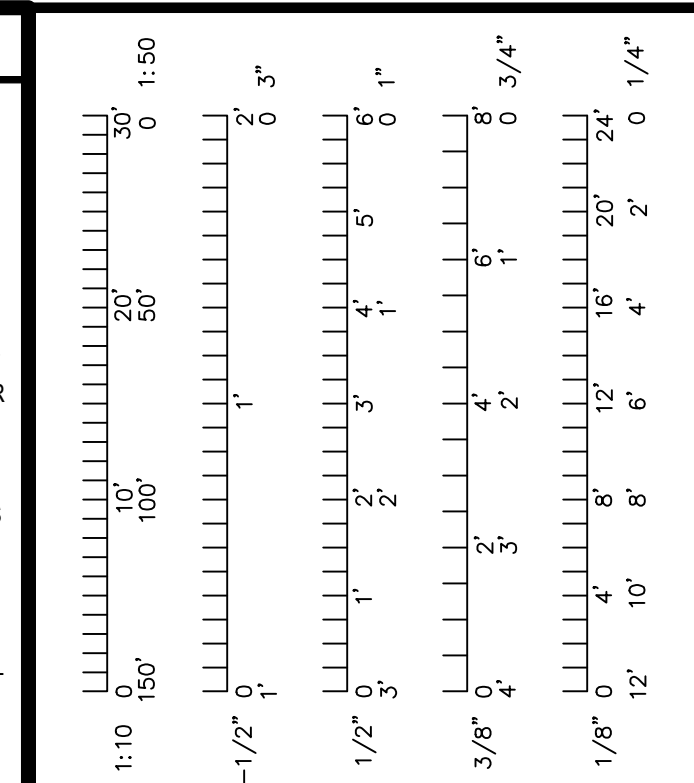
GENERAL SITE PLAN & STAGING NOTES

1. FIELD VERIFICATION: INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS. THE INFORMATION CONTAINED HEREIN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY. THESE DRAWINGS CONVEY THE DESIGN INTENT ONLY.
2. FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
3. ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
4. REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
5. PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
6. FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
7. PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
8. NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
9. PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
10. PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD. SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION DETAIL.
11. COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
12. DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
13. INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FURTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF AN ADDITIONAL REVEAL NON-COMPLYING WORK REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE. RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER. PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK.
14. LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.
15. UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.
16. OFFLOAD ALL MATERIALS AT DESIGNATED AREA. MOVE ALL DELIVERY VEHICLES FROM SITE IMMEDIATELY AFTER OFFLOADING.

STAGING PLAN KEY

- L EXISTING POLE-MOUNTED OR POST-MOUNTED SITE LIGHTING TO REMAIN; PROTECT DURING CONSTRUCTION ACTIVITIES
- F EXISTING FIBER OPTIC / TELECOMMUNICATIONS LINE PULL BOX
- ACCESS LANES @ EXISTING LANDSCAPING; COORDINATE FINAL LOCATION(S) WITH OWNER'S REPRESENTATIVE ON-SITE.
 - COVER SOIL WITH DOUBLE LAYER OF ALTERNAMATS (TYP.)
 - AT PROJECT COMPLETION REMOVE ALTERNAMATS.
- STAGING AREA - COVER SOIL WITH DOUBLE LAYER OF ALTERNAMATS
- CONTRACTOR DUMPSTER LOCATION
- NO CONTRACTOR VEHICLES ALLOWED
- LANDSCAPING ITEM TO REMAIN & PROTECT

- WATER LINE TO REMAIN, PROTECT
- ELECTRICAL TO REMAIN, PROTECT
- TELECOM TO REMAIN, PROTECT
- SANITARY TO REMAIN, PROTECT
- CHILLED WATER LINE TO REMAIN, PROTECT
- STORM SEWER TO REMAIN, PROTECT



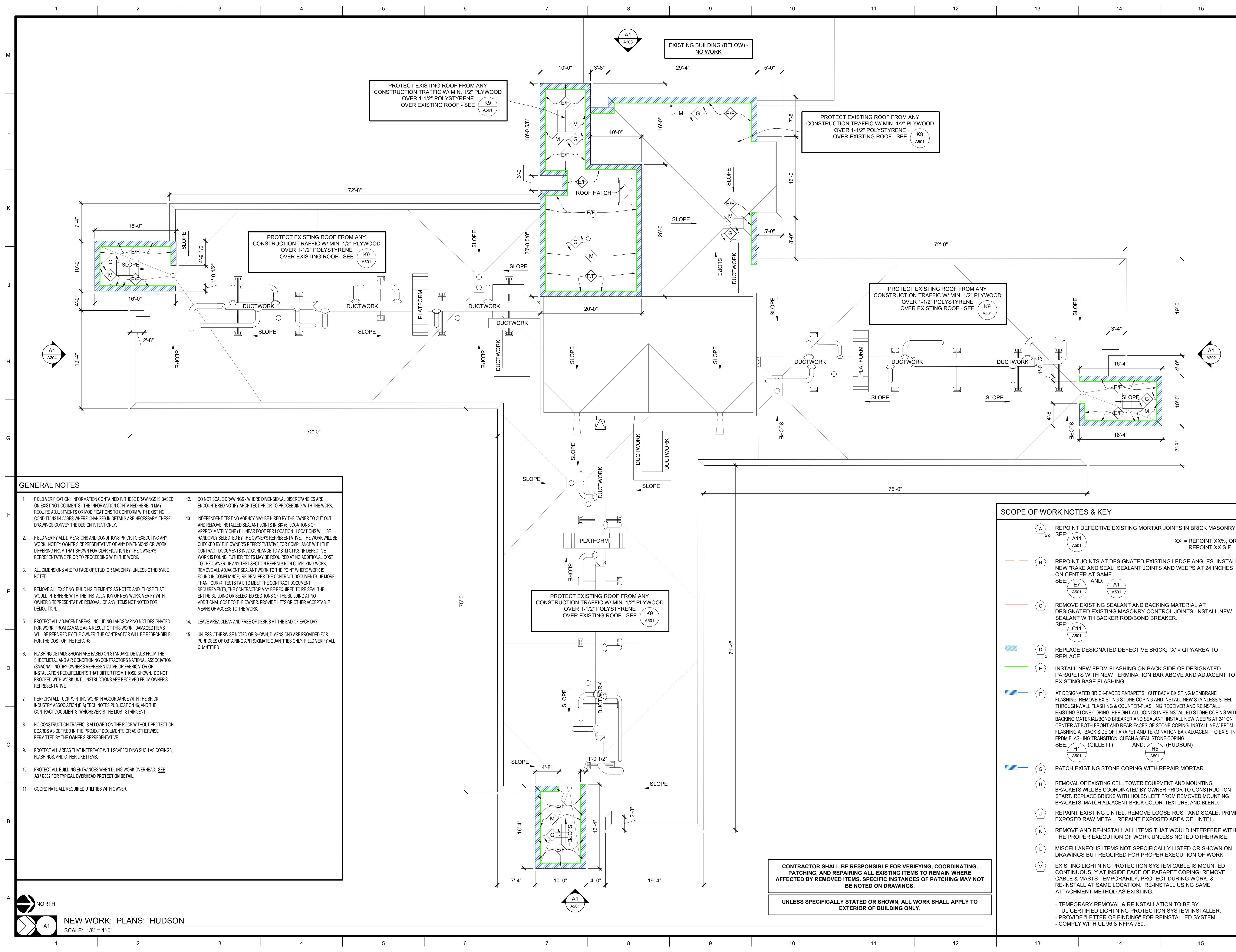
Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	G003.DWG

Drawing Title:
**STAGING & TRAFFIC CONTROL:
HUDSON & GILLETT**

No.	Revisions:	Date:

Submission Date:	2023.12.05	Drawing Number:	G003
Plot Date:	2023.11.21		

A1 STAGING & TRAFFIC CONTROL PLAN - HUDSON HALL & GILLETT HALL
SCALE: 1/32" = 1'-0"

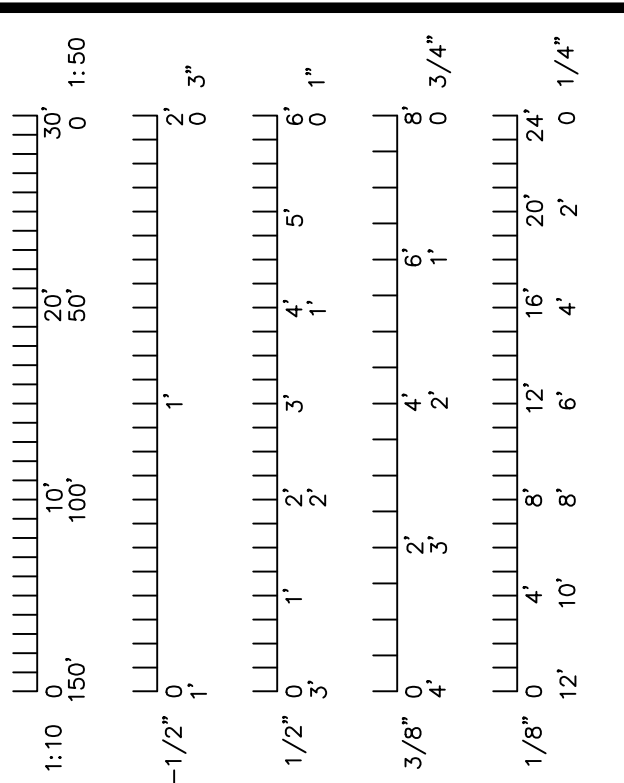


- GENERAL NOTES**
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 - FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNERS REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNERS REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
 - REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNERS REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
 - PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK, FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
 - FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNERS REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNERS REPRESENTATIVE.
 - PERFORM ALL TIEPOINTS WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 46, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
 - NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNERS REPRESENTATIVE.
 - PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
 - PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD. SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION DETAIL.
 - COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
 - DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 - INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNERS REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNERS REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FURTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE. RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER. PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK.
 - LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.
 - UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.

- SCOPE OF WORK NOTES & KEY**
- A** REPOINT DEFECTIVE EXISTING MORTAR JOINTS IN BRICK MASONRY - SEE: A11 A501 'XX' = REPOINT XX%, OR REPOINT XX S.F.
 - B** REPOINT JOINTS AT DESIGNATED EXISTING LEDGE ANGLES. INSTALL NEW "RAKE AND SEAL" SEALANT JOINTS AND WEEPS AT 24 INCHES ON CENTER AT SAME. SEE: E7 A501 AND: A1 A501
 - C** REMOVE EXISTING SEALANT AND BACKING MATERIAL AT DESIGNATED EXISTING MASONRY CONTROL JOINTS; INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER. SEE: C11 A501
 - D** REPLACE DESIGNATED DEFECTIVE BRICK; 'X' = QTY/AREA TO REPLACE.
 - E** INSTALL NEW EPDM FLASHING ON BACK SIDE OF DESIGNATED PARAPETS WITH NEW TERMINATION BAR ABOVE AND ADJACENT TO EXISTING BASE FLASHING.
 - F** AT DESIGNATED BRICK-FACED PARAPETS: CUT BACK EXISTING MEMBRANE FLASHING. REMOVE EXISTING STONE COPING AND INSTALL NEW STAINLESS STEEL THROUGH-WALL FLASHING & COUNTER FLASHING RECEIVER AND REINSTALL EXISTING STONE COPING. REPOINT ALL JOINTS IN REINSTALLED STONE COPING WITH BACKING MATERIAL/BOND BREAKER AND SEALANT. INSTALL NEW WEEPS AT 24" ON CENTER AT BOTH FRONT AND REAR FACES OF STONE COPING. INSTALL NEW EPDM FLASHING AT BACK SIDE OF PARAPET AND TERMINATION BAR ADJACENT TO EXISTING EPDM FLASHING TRANSITION. CLEAN & SEAL STONE COPING. SEE: H1 (GILLETT) AND: H5 (HUDSON)
 - G** PATCH EXISTING STONE COPING WITH REPAIR MORTAR.
 - H** REMOVAL OF EXISTING CELL TOWER EQUIPMENT AND MOUNTING BRACKETS WILL BE COORDINATED BY OWNER PRIOR TO CONSTRUCTION START. REPLACE BRICKS WITH HOLES LEFT FROM REMOVED MOUNTING BRACKETS; MATCH ADJACENT BRICK COLOR, TEXTURE, AND BLEND.
 - J** REPAINT EXISTING LINTEL. REMOVE LOOSE RUST AND SCALE. PRIME EXPOSED RAW METAL. REPAINT EXPOSED AREA OF LINTEL.
 - K** REMOVE AND RE-INSTALL ALL ITEMS THAT WOULD INTERFERE WITH THE PROPER EXECUTION OF WORK UNLESS NOTED OTHERWISE.
 - L** MISCELLANEOUS ITEMS NOT SPECIFICALLY LISTED OR SHOWN ON DRAWINGS BUT REQUIRED FOR PROPER EXECUTION OF WORK.
 - M** EXISTING LIGHTNING PROTECTION SYSTEM CABLE IS MOUNTED CONTINUOUSLY AT INSIDE FACE OF PARAPET COPING; REMOVE CABLE & MASTS TEMPORARILY. PROTECT DURING WORK, & RE-INSTALL AT SAME LOCATION. RE-INSTALL USING SAME ATTACHMENT METHOD AS EXISTING.

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.



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 Peckham & Wright Architects an Architectural Corporation
 Missouri State Certificate of Authority No. 000244



Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
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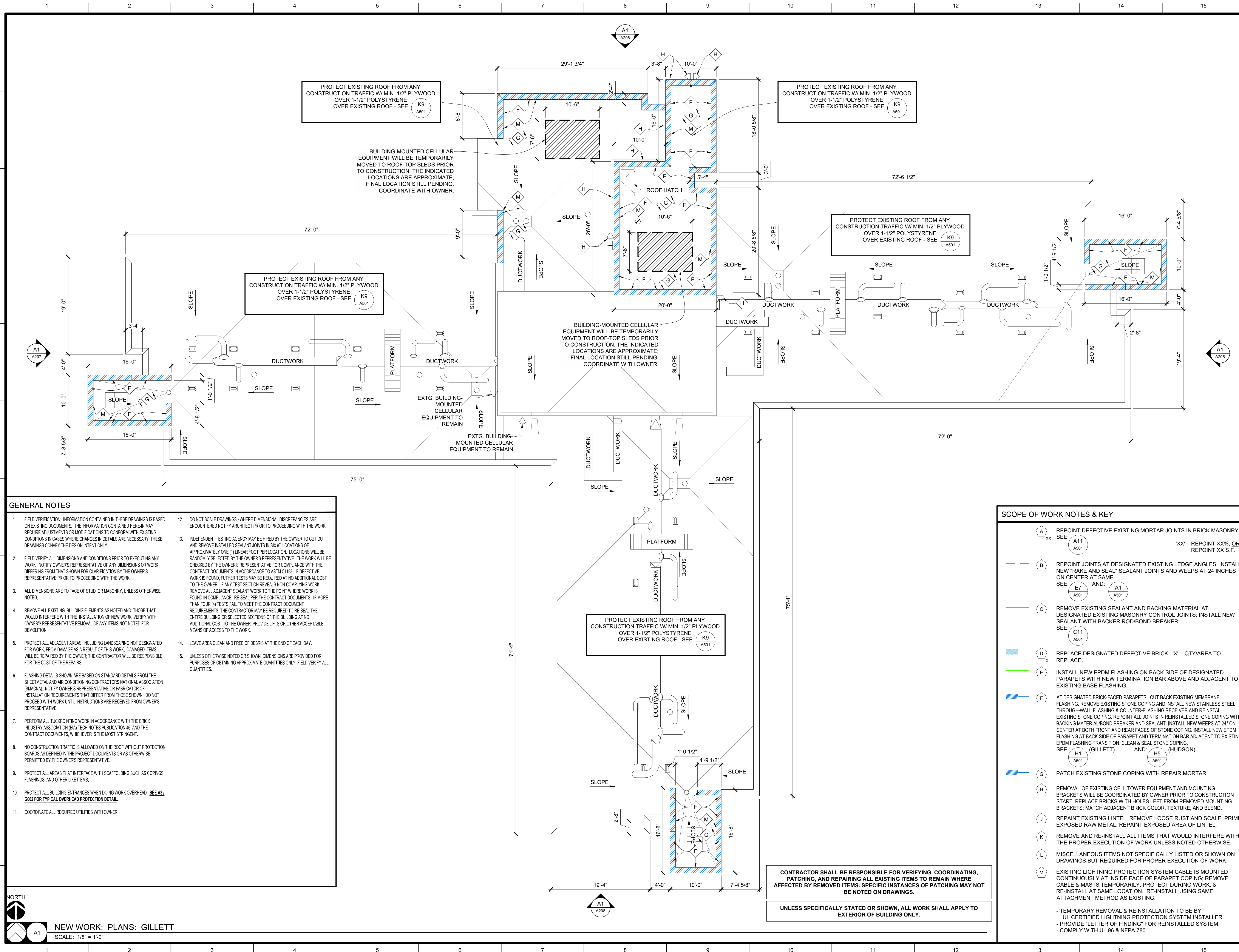
Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A130.DWG
Drawing Title:	NEW WORK: PLANS: HUDSON		
No.	Revisions:	Date:	
Submission Date:	2023.12.05		Drawing Number:
Plot Date:	2023.11.21		A130

NORTH

A1

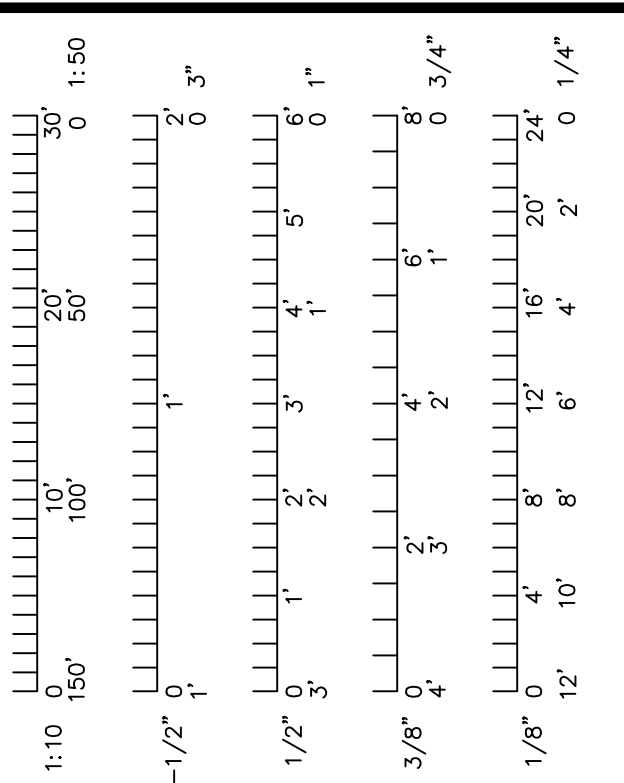
NEW WORK: PLANS: HUDSON

SCALE: 1/8" = 1'-0"



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 - C** REMOVE EXISTING SEALANT AND BACKING MATERIAL AT DESIGNATED EXISTING MASONRY CONTROL JOINTS; INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER. SEE: C11 A501
 - D** REPLACE DESIGNATED DEFECTIVE BRICK; 'X' = QTY/AREA TO REPLACE.
 - E** INSTALL NEW EPDM FLASHING ON BACK SIDE OF DESIGNATED PARAPETS WITH NEW TERMINATION BAR ABOVE AND ADJACENT TO EXISTING BASE FLASHING.
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- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.
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Project CP231031
**VARIOUS LOCATIONS -
 REPAIR MASONRY STAIR TOWERS
 AT HUDSON AND GILLETT
 COLUMBIA, MO**
 University of Missouri
 For: The Curators of the University of Missouri

Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A130.DWG

Drawing Title:
NEW WORK: PLANS: GILLETT

No.	Revisions:	Date:

Submission Date: 2023.12.05
 Plot Date: 2023.11.21
 Drawing Number: **A131**

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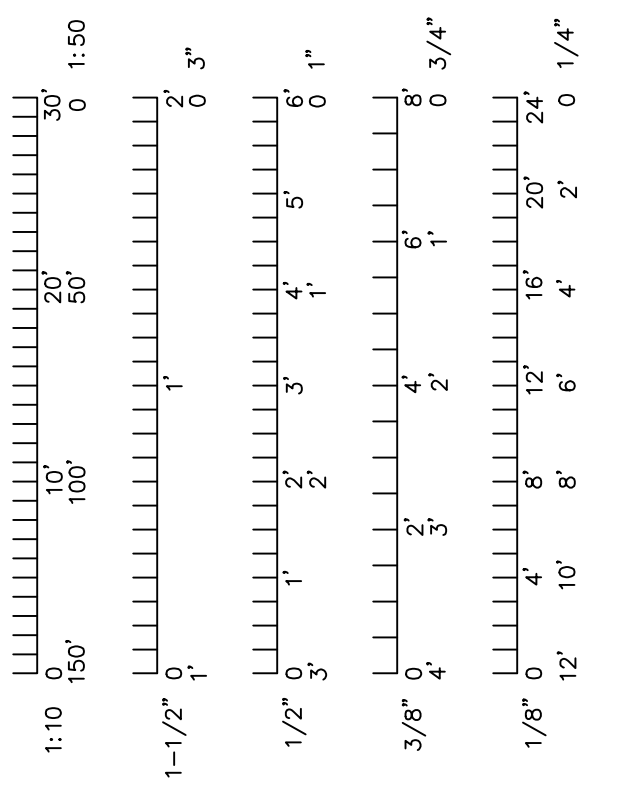
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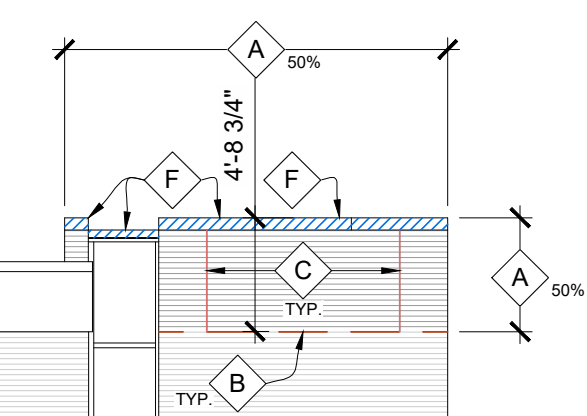
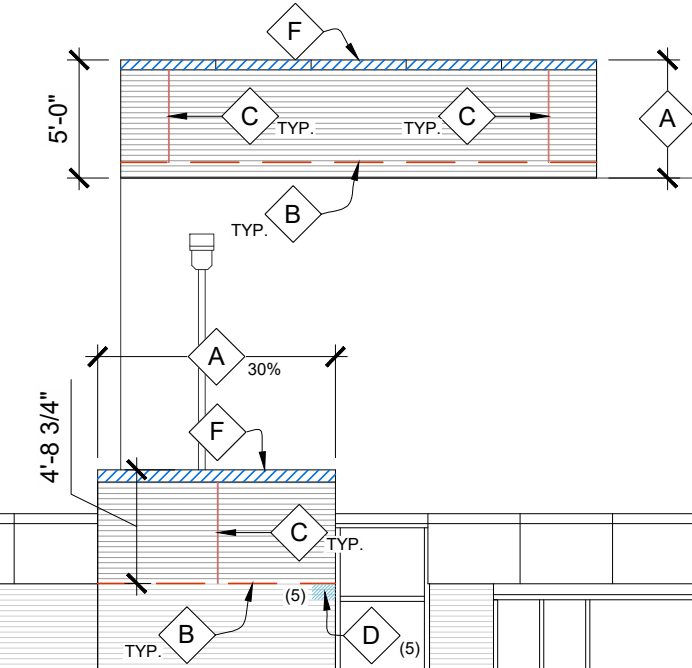
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PROTECT EXISTING ROOF FROM ANY CONSTRUCTION TRAFFIC W/ MIN. 1/2" PLYWOOD OVER 1-1/2" POLYSTYRENE OVER EXISTING ROOF - SEE (K9 AS01)



EXISTING HVAC SCREEN / ENCLOSURE FOR CONDENSING UNIT & DISCONNECT TO REMAIN. PROTECT

EXISTING BUILDING ENTRY TO REMAIN OPEN. PROVIDE OVERHEAD PROTECTION WHILE WORKING ABOVE THIS ENTRY. SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION DETAIL

- T.O. Parapet 80' - 0 5/16"±
- Penthouse Roof 76' - 3"±
- Penthouse 67' - 9 5/8"±
- Roof 59' - 1 5/8"±
- Floor 7 50' - 8 1/4"±
- Floor 6 42' - 2 7/8"±
- Floor 5 33' - 9 1/2"±
- Floor 4 25' - 4 1/8"±
- Floor 3 16' - 10 3/4"±
- Floor 2 8' - 5 3/8"±
- Floor 1 0' - 0"

A1 A7 HUDSON: EAST ELEVATION
A130 SCALE: 1/8" = 1'-0"



Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A201.DWG

Drawing Title:
NEW WORK: ELEVATIONS: HUDSON

No.	Revisions:	Date:

Submission Date:	2023.12.05	Drawing Number:	A201
Plot Date:	2023.11.21		

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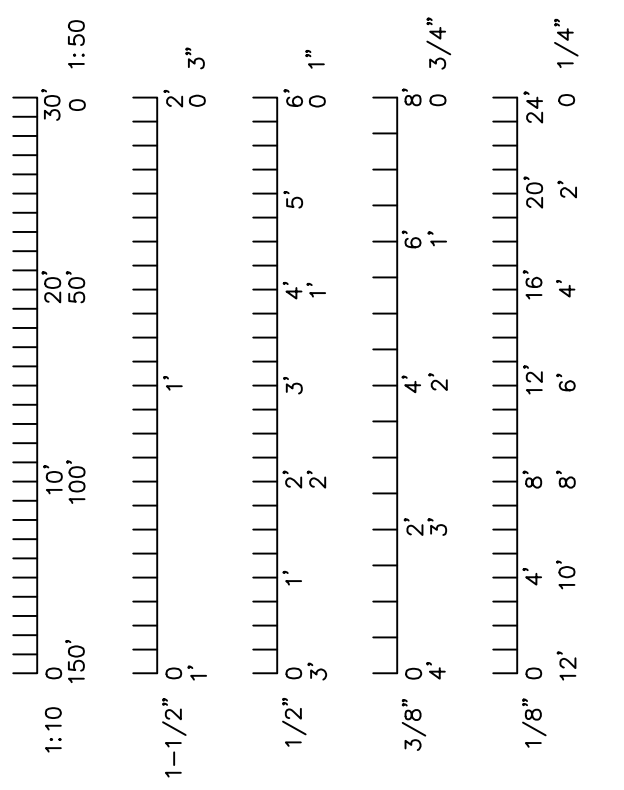
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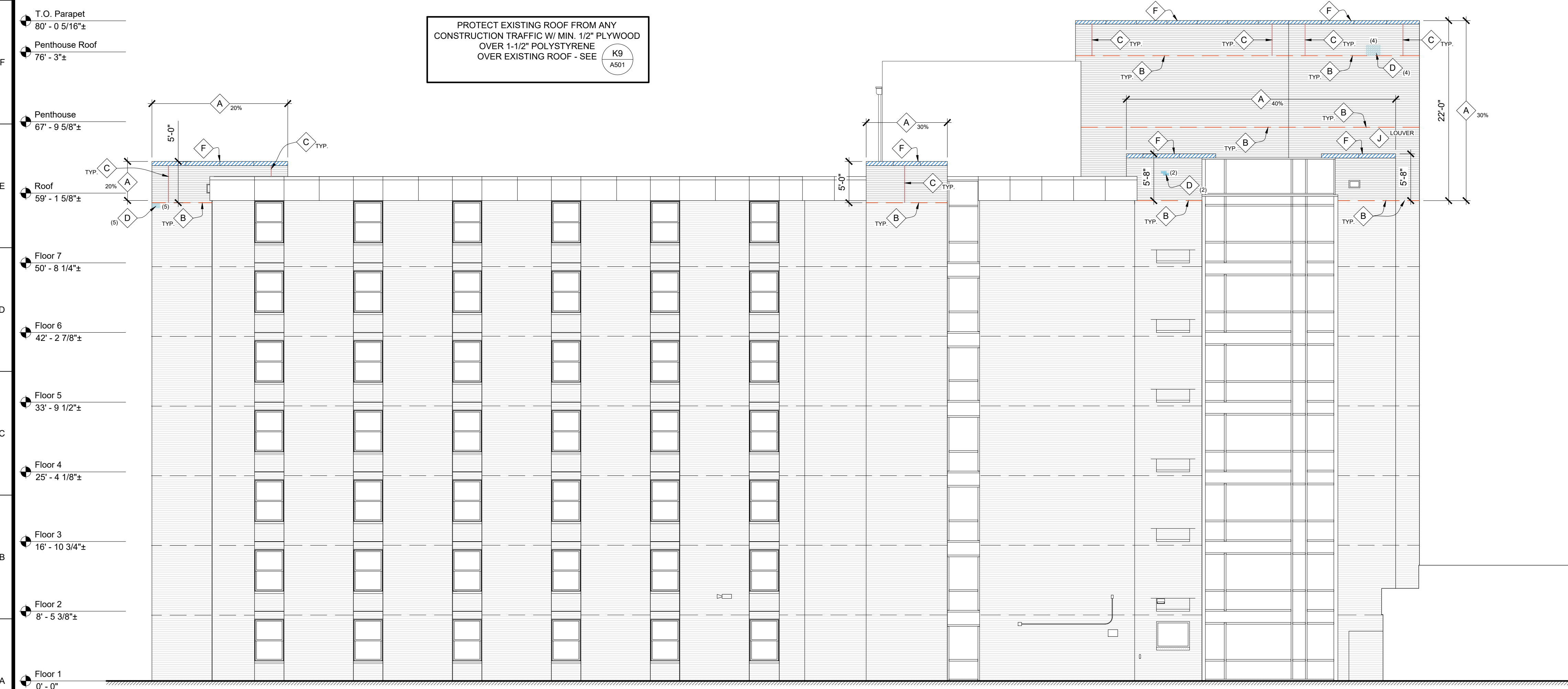
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A1 **H15** **A130** HUDSON: NORTH ELEVATION
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NEW WORK: ELEVATIONS: HUDSON

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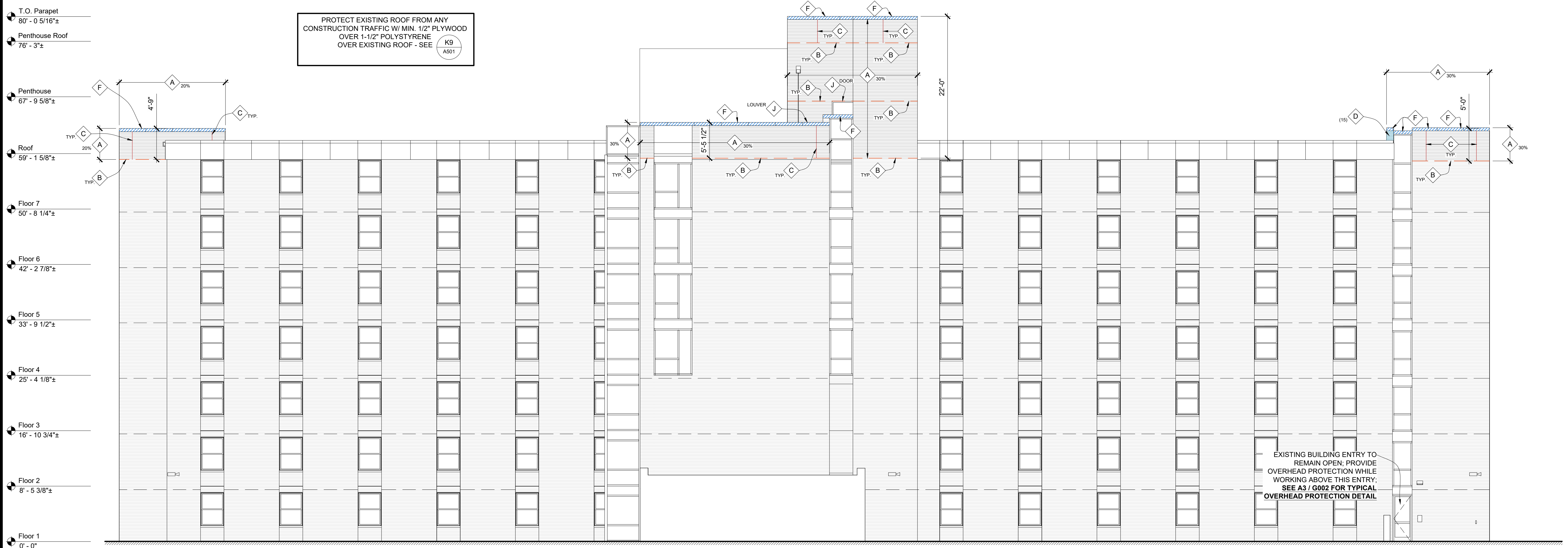
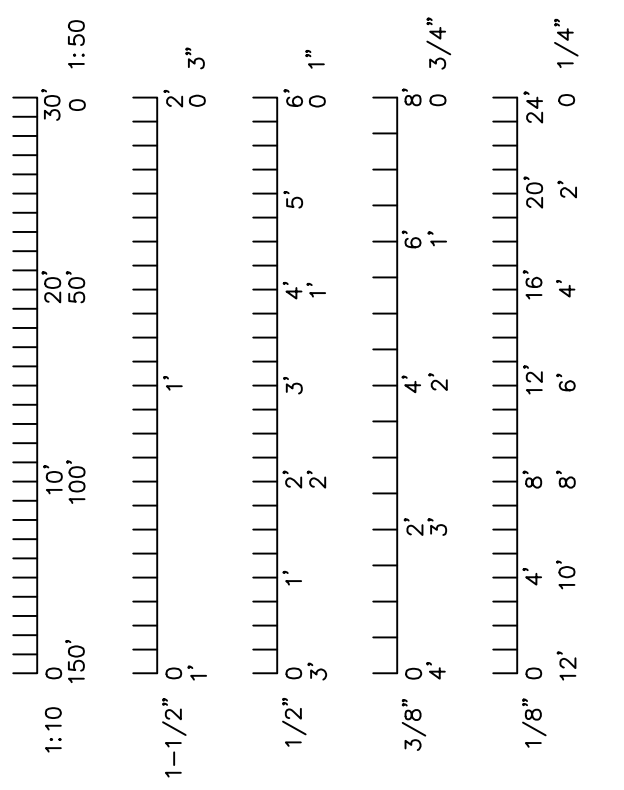
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HUDSON: WEST ELEVATION
 SCALE: 1/8" = 1'-0"



Project CP231031
 VARIOUS LOCATIONS -
 REPAIR MASONRY STAIR TOWERS
 AT HUDSON AND GILLETT
 COLUMBIA, MO
 University of Missouri
 For: The Curators of the University of Missouri

Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A201.DWG

Drawing Title:
NEW WORK: ELEVATIONS: HUDSON

No.	Revisions:	Date:

Submission Date:	2023.12.05	Drawing Number:	A203
Plot Date:	2023.11.21		

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

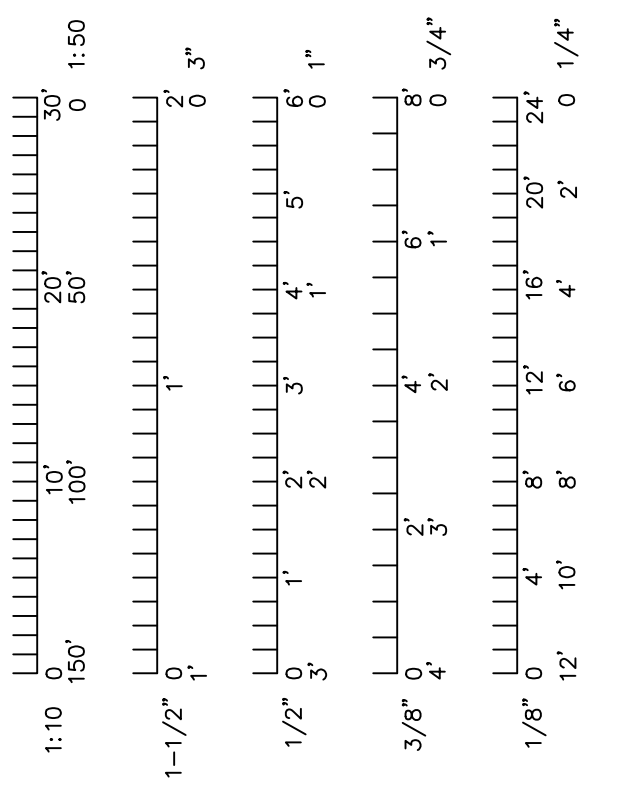
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SCOPE OF WORK NOTES & KEY

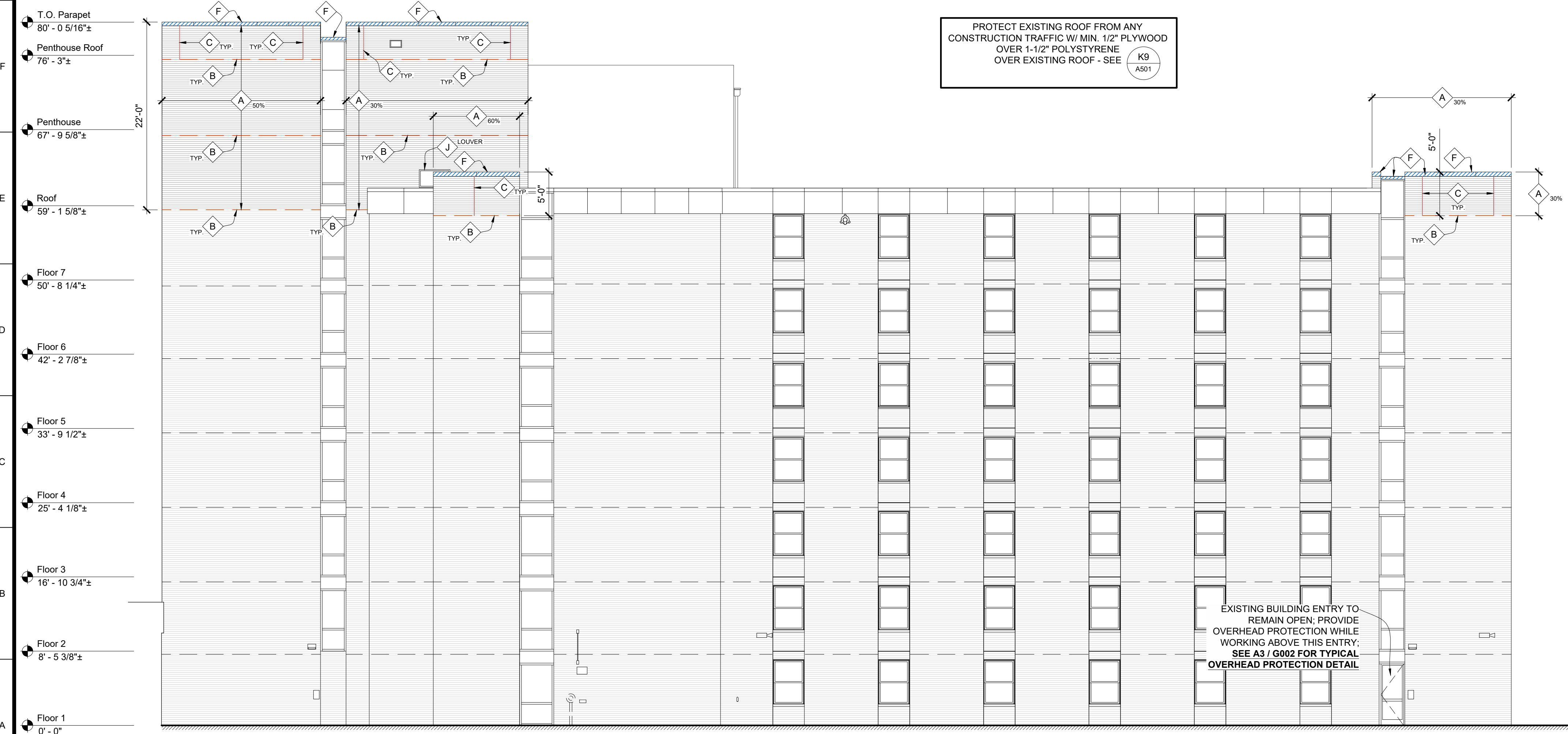
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A1 H1 HUDSON: SOUTH ELEVATION
A130 SCALE: 1/8" = 1'-0"



Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	Project Number:
ER, DP	202302
Checked:	CAD File Name (Number):
ER	A201.DWG
Drawing Title:	
NEW WORK: ELEVATIONS: HUDSON	

No.	Revisions:	Date:

Submission Date:	Drawing Number:
2023.12.05	A204
Plot Date:	
2023.11.21	

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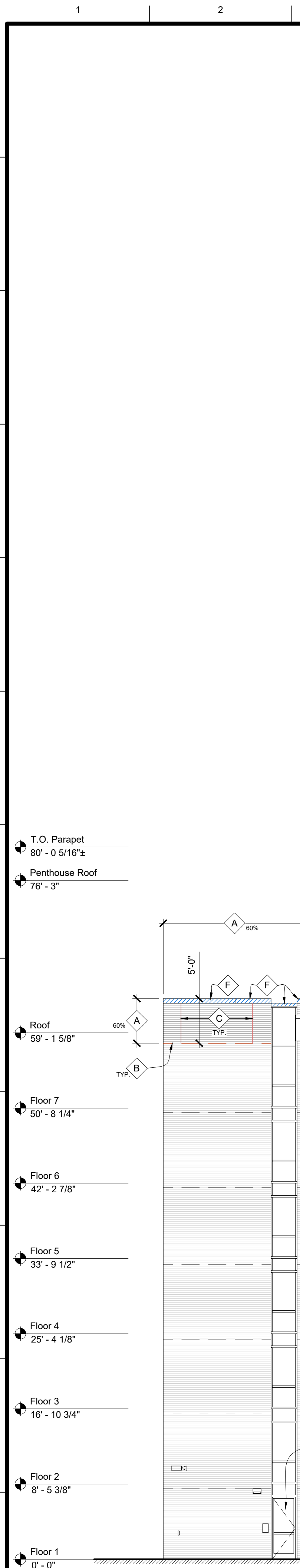
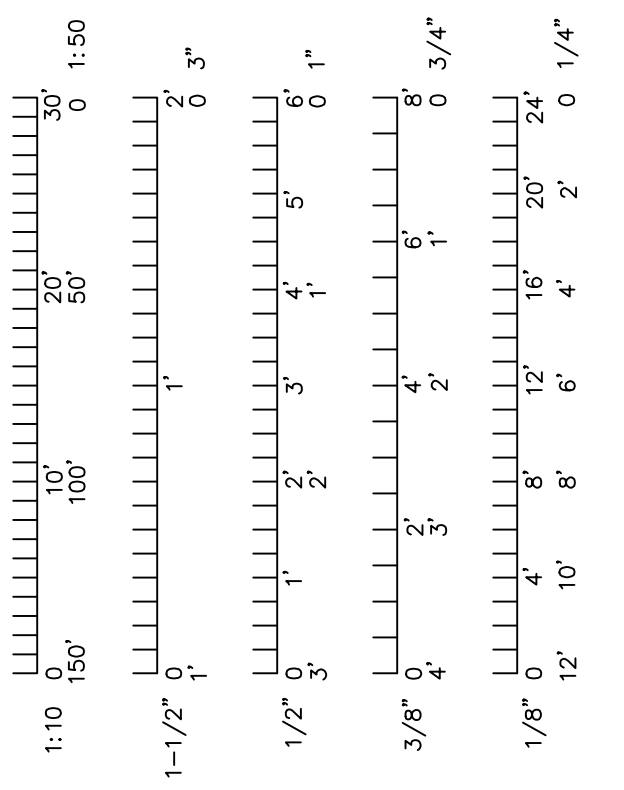
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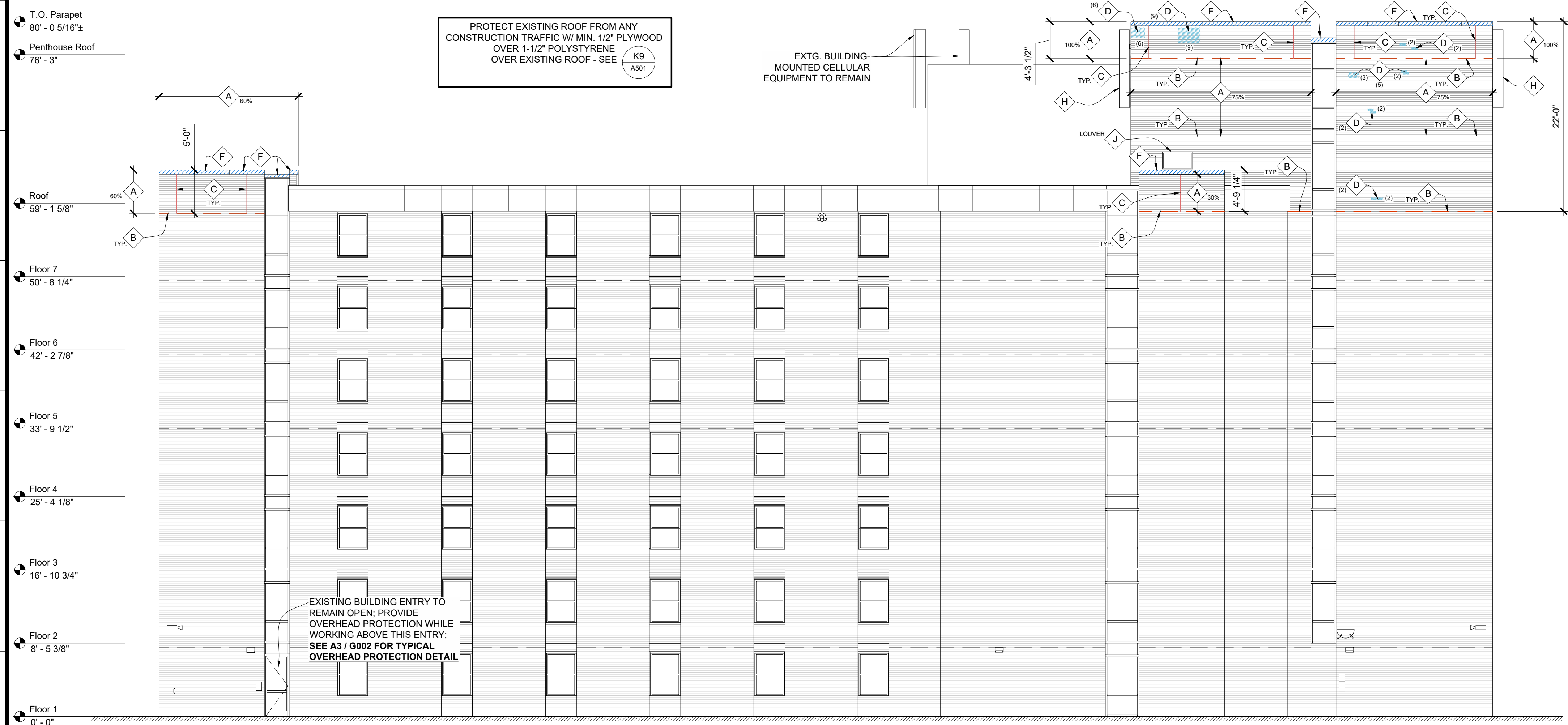
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EXTG. BUILDING MOUNTED CELLULAR EQUIPMENT TO REMAIN



EXISTING BUILDING ENTRY TO REMAIN OPEN; PROVIDE OVERHEAD PROTECTION WHILE WORKING ABOVE THIS ENTRY; SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION DETAIL

A1 H15 A131 GILLETT: EAST ELEVATION SCALE: 1/8" = 1'-0"

PWArchitects, Inc.
 2120 Forum Blvd., Ste. 101
 Columbia, Missouri 65203
 PWArchitects.com | 573.449.2683
 Missouri State Certificate of Authority No. 000244

Professional Engineer Seal for **Michael J. Gillett**, State of Missouri, No. 001482828, 2023.12.05



Project CP231031
 VARIOUS LOCATIONS -
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 AT HUDSON AND GILLETT
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Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A201.DWG

Drawing Title:
NEW WORK: ELEVATIONS: GILLETT

No.	Revisions:	Date:

Submission Date:	2023.12.05	Drawing Number:	A205
Plot Date:	2023.11.21		

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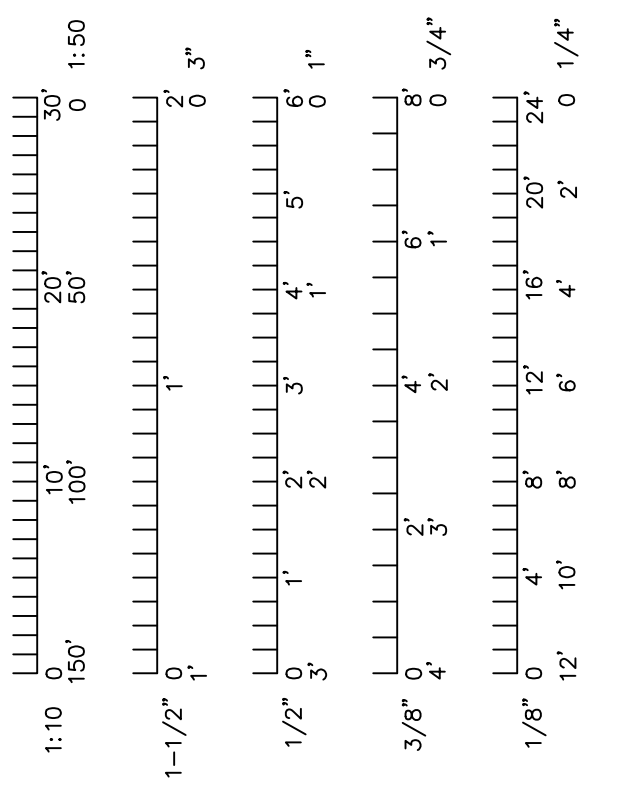
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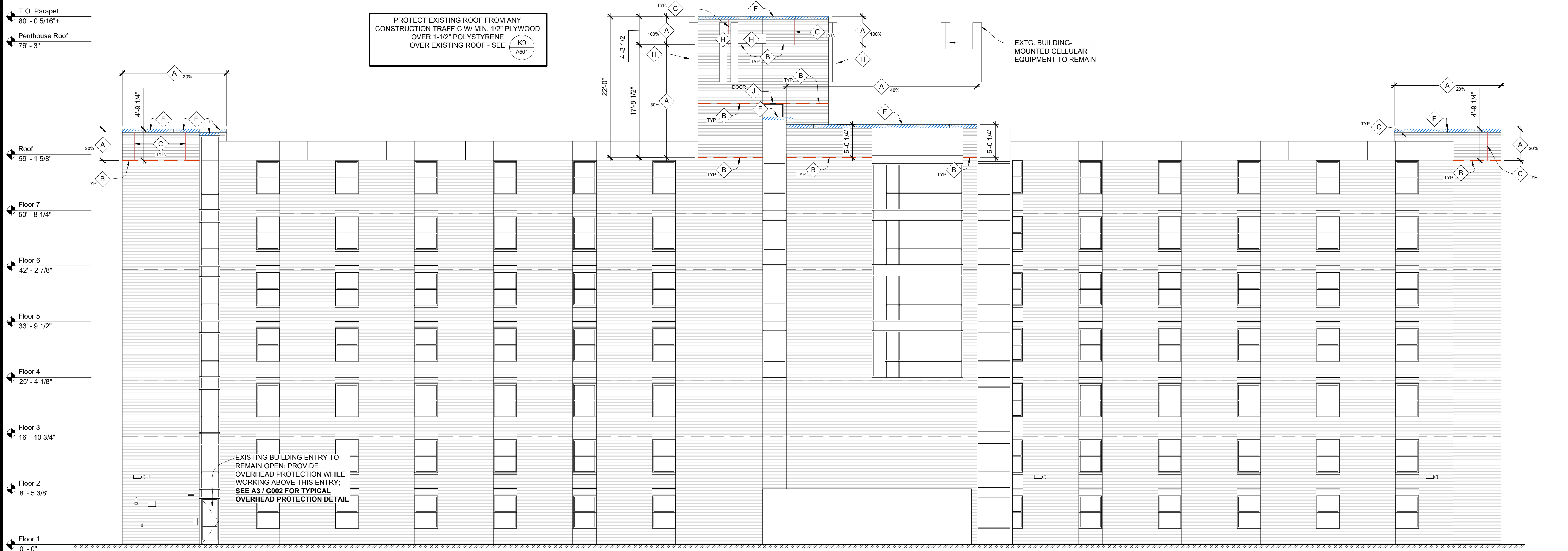
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- M** EXISTING LIGHTNING PROTECTION SYSTEM CABLE IS MOUNTED CONTINUOUSLY AT INSIDE FACE OF PARAPET COPINGS; REMOVE CABLE & MASTS TEMPORARILY; PROTECT DURING WORK; & RE-INSTALL AT SAME LOCATION. RE-INSTALL USING SAME ATTACHMENT METHOD AS EXISTING.
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 - PROVIDE "LETTER OF FINDING" FOR REINSTALLED SYSTEM.
 - COMPLY WITH UL 96 & NFPA 780.

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3. ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
4. REMOVE ALL EXISTING BUILDING ELEMENTS AS NOTED AND THOSE THAT WOULD INTERFERE WITH THE INSTALLATION OF NEW WORK. VERIFY WITH OWNER'S REPRESENTATIVE REMOVAL OF ANY ITEMS NOT NOTED FOR DEMOLITION.
5. PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER; THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
6. FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
7. PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION 48, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
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10. PROTECT ALL BUILDING ENTRANCES WHEN DOING WORK OVERHEAD. SEE A3 / G002 FOR TYPICAL OVERHEAD PROTECTION DETAIL.
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PROTECT EXISTING ROOF FROM ANY CONSTRUCTION TRAFFIC W/ MIN. 1/2" PLYWOOD OVER 1-1/2" POLYSTYRENE OVER EXISTING ROOF - SEE K9 A501



GILLETT: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	Project Number:
ER, DP	202302
Checked:	CAD File Name (Number):
ER	A201.DWG

Drawing Title:
NEW WORK: ELEVATIONS: GILLETT

No.	Revisions:	Date:

Submission Date:	Drawing Number:
2023.12.05	A206
Plot Date:	
2023.11.21	

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, COORDINATING, PATCHING, AND REPAIRING ALL EXISTING ITEMS TO REMAIN WHERE AFFECTED BY REMOVED ITEMS. SPECIFIC INSTANCES OF PATCHING MAY NOT BE NOTED ON DRAWINGS.

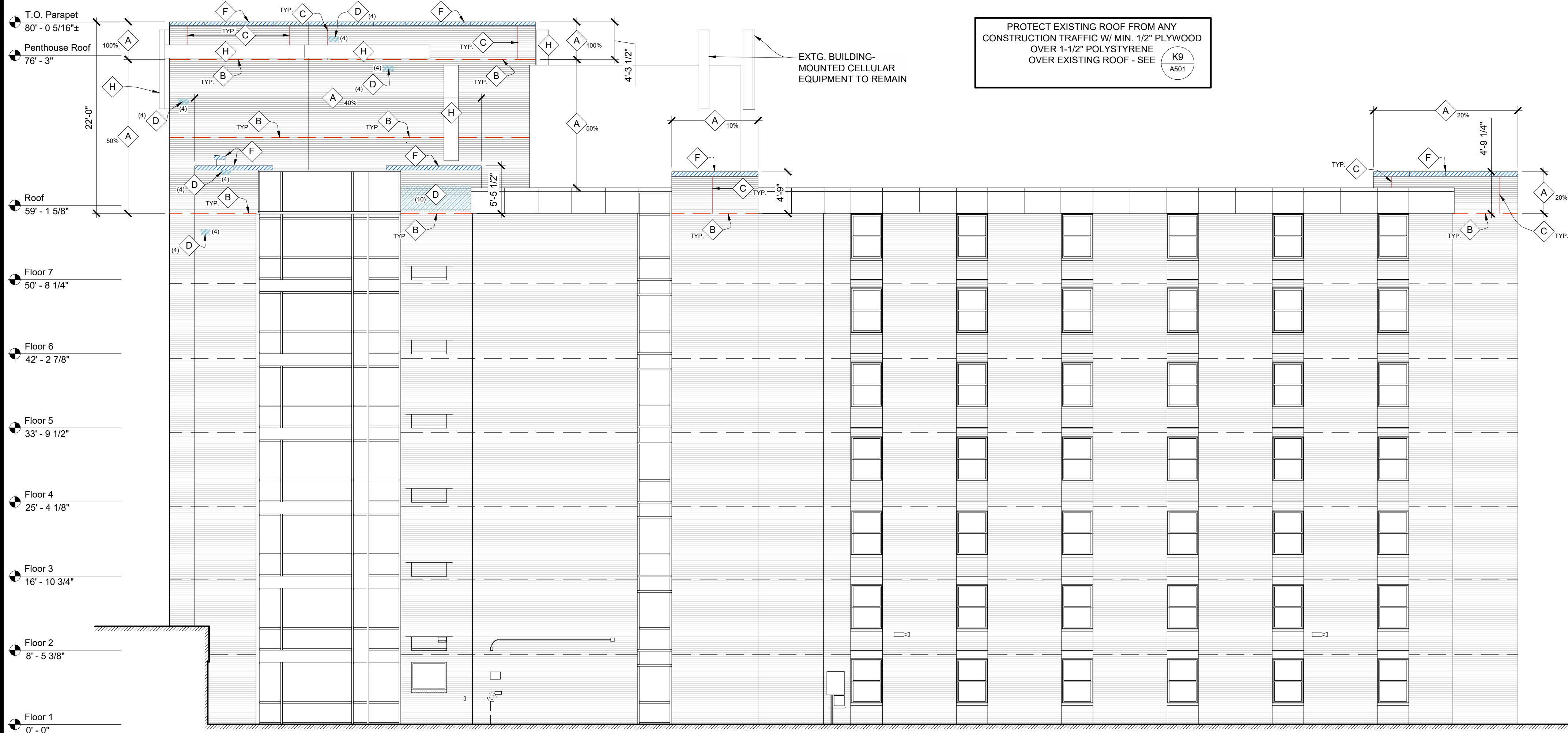
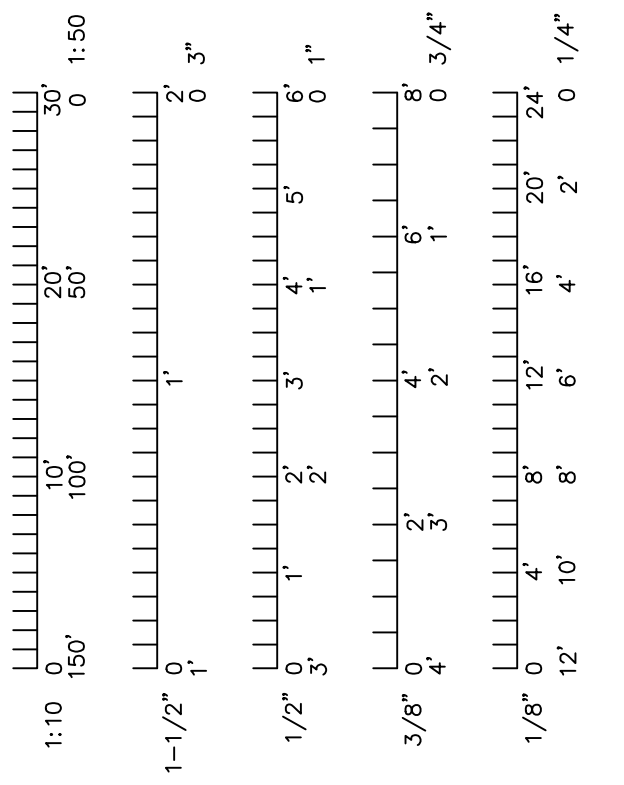
UNLESS SPECIFICALLY STATED OR SHOWN, ALL WORK SHALL APPLY TO EXTERIOR OF BUILDING ONLY.

SCOPE OF WORK NOTES & KEY

- A** REPOINT DEFECTIVE EXISTING MORTAR JOINTS IN BRICK MASONRY - SEE: (A11) AS01 'XX' = REPOINT XX%, OR REPOINT XX S.F.
 - B** REPOINT JOINTS AT DESIGNATED EXISTING LEDGE ANGLES. INSTALL NEW "RAKE AND SEAL" SEALANT JOINTS AND WEEPS AT 24 INCHES ON CENTER AT SAME. SEE: (E7) AS01 AND: (A1) AS01
 - C** REMOVE EXISTING SEALANT AND BACKING MATERIAL AT DESIGNATED EXISTING MASONRY CONTROL JOINTS, INSTALL NEW SEALANT WITH BACKER ROD/BOND BREAKER. SEE: (C11) AS01
 - D** REPLACE DESIGNATED DEFECTIVE BRICK; 'X' = QTY/AREA TO REPLACE.
 - E** INSTALL NEW EPDM FLASHING ON BACK SIDE OF DESIGNATED PARAPETS WITH NEW TERMINATION BAR ABOVE AND ADJACENT TO EXISTING BASE FLASHING.
 - F** AT DESIGNATED BRICK-FACED PARAPETS: CUT BACK EXISTING MEMBRANE FLASHING. REMOVE EXISTING STONE COPING AND INSTALL NEW STAINLESS STEEL THROUGH-WALL FLASHING & COUNTER-FLASHING RECEIVER AND REINSTALL EXISTING STONE COPING. REPOINT ALL JOINTS IN REINSTALLED STONE COPING WITH BACKING MATERIAL/BOND BREAKER AND SEALANT. INSTALL NEW WEEPS AT 24" ON CENTER AT BOTH FRONT AND REAR FACES OF STONE COPING. INSTALL NEW EPDM FLASHING AT BACK SIDE OF PARAPET AND TERMINATION BAR ADJACENT TO EXISTING EPDM FLASHING TRANSITION. CLEAN & SEAL STONE COPING. SEE: (H1) (GILLETT) AND: (H5) (HUDSON)
 - G** PATCH EXISTING STONE COPING WITH REPAIR MORTAR.
 - H** REMOVAL OF EXISTING CELL TOWER EQUIPMENT AND MOUNTING BRACKETS WILL BE COORDINATED BY OWNER PRIOR TO CONSTRUCTION START. REPLACE BRICKS WITH HOLES LEFT FROM REMOVED MOUNTING BRACKETS; MATCH ADJACENT BRICK COLOR, TEXTURE, AND BLEND.
 - J** REPAINT EXISTING LINTEL. REMOVE LOOSE RUST AND SCALE. PRIME EXPOSED RAW METAL. REPAINT EXPOSED AREA OF LINTEL.
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GILLETT: WEST ELEVATION
 SCALE: 1/8" = 1'-0"



Project CP231031
 VARIOUS LOCATIONS -
 REPAIR MASONRY STAIR TOWERS
 AT HUDSON AND GILLETT
 COLUMBIA, MO
 University of Missouri
 For: The Curators of the University of Missouri

Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A201.DWG
Drawing Title:	NEW WORK: ELEVATIONS: GILLETT		
No.	Revisions:	Date:	
Submission Date:	2023.12.05		Drawing Number:
Plot Date:	2023.11.21		A207

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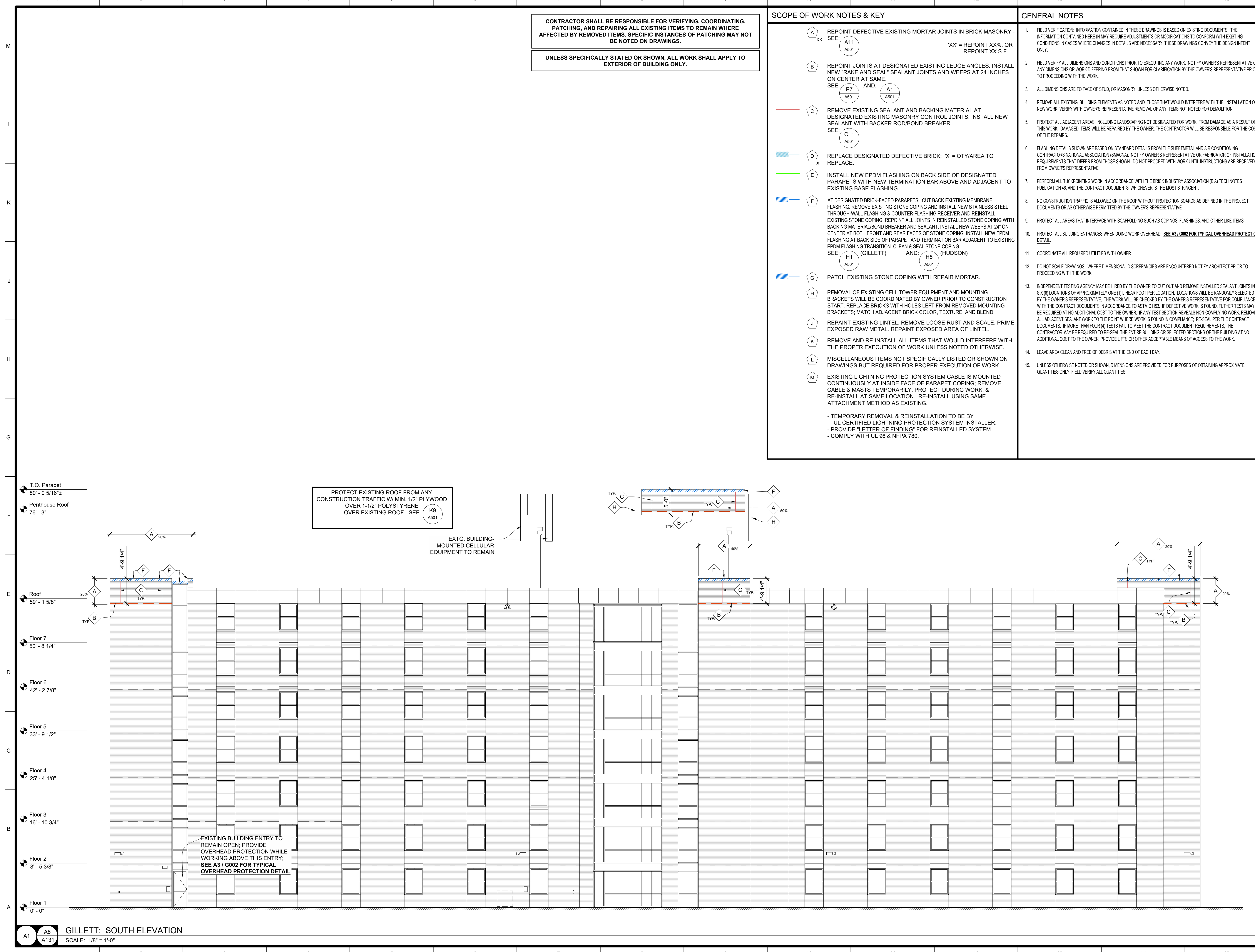
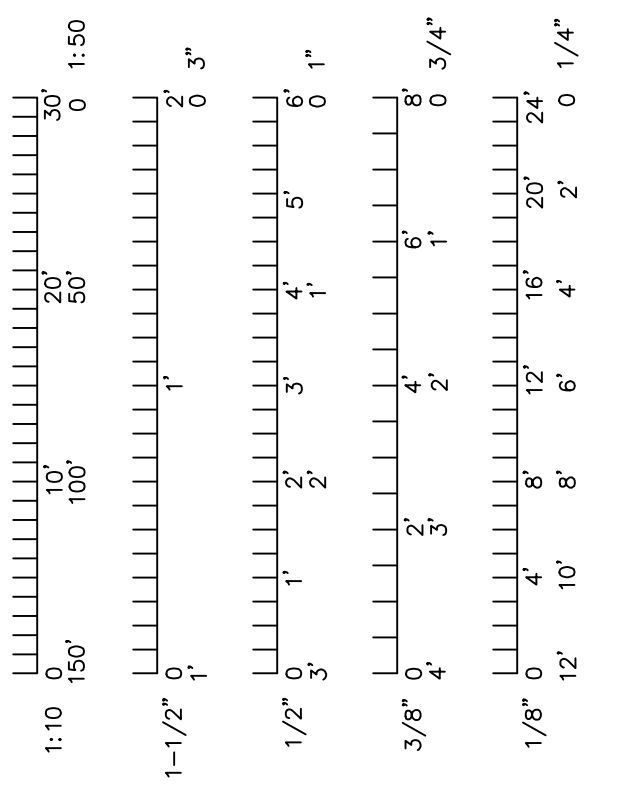
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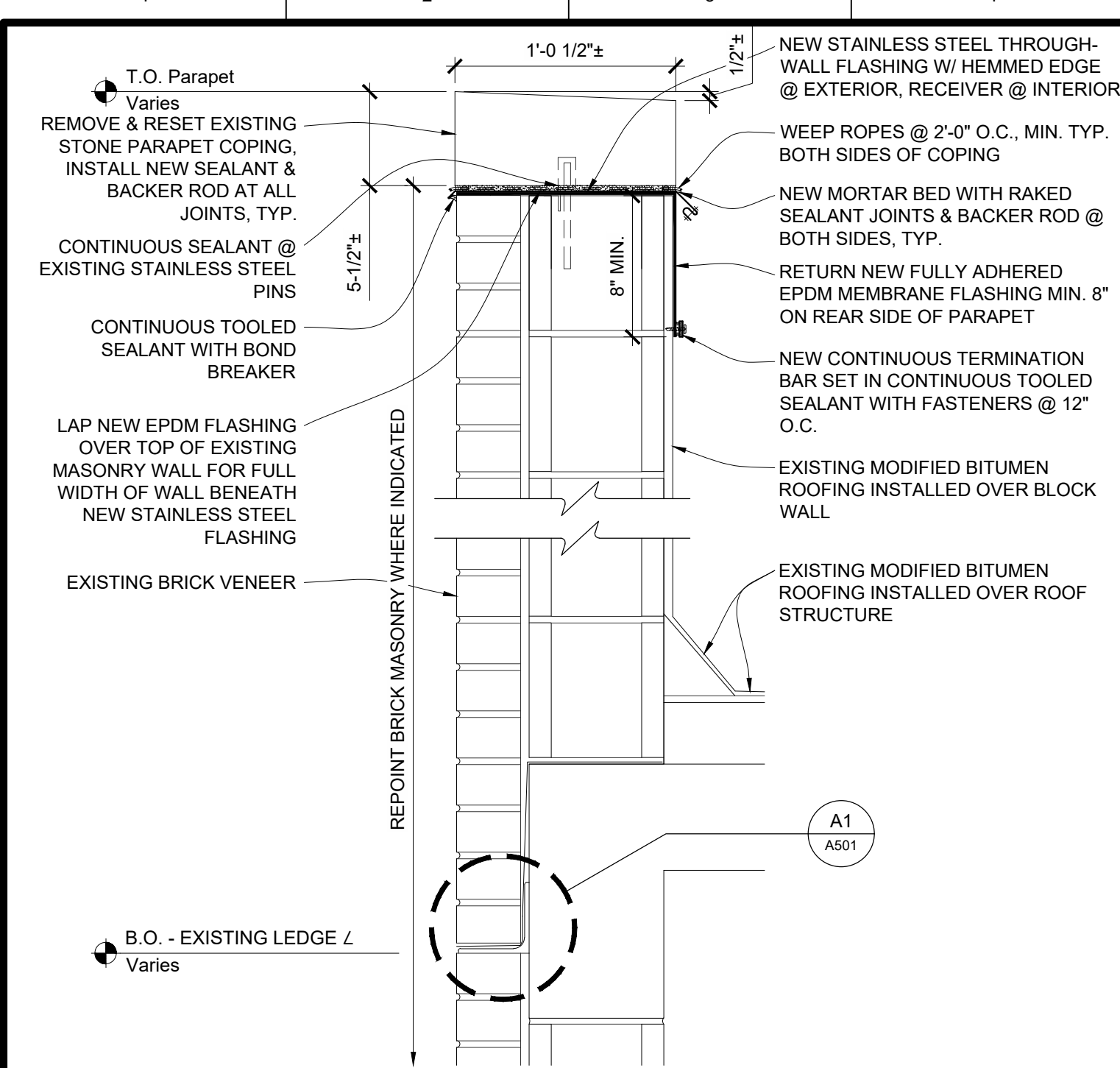
Project CP231031
 VARIOUS LOCATIONS -
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 COLUMBIA, MO
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 For: The Curators of the University of Missouri

Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A201.DWG

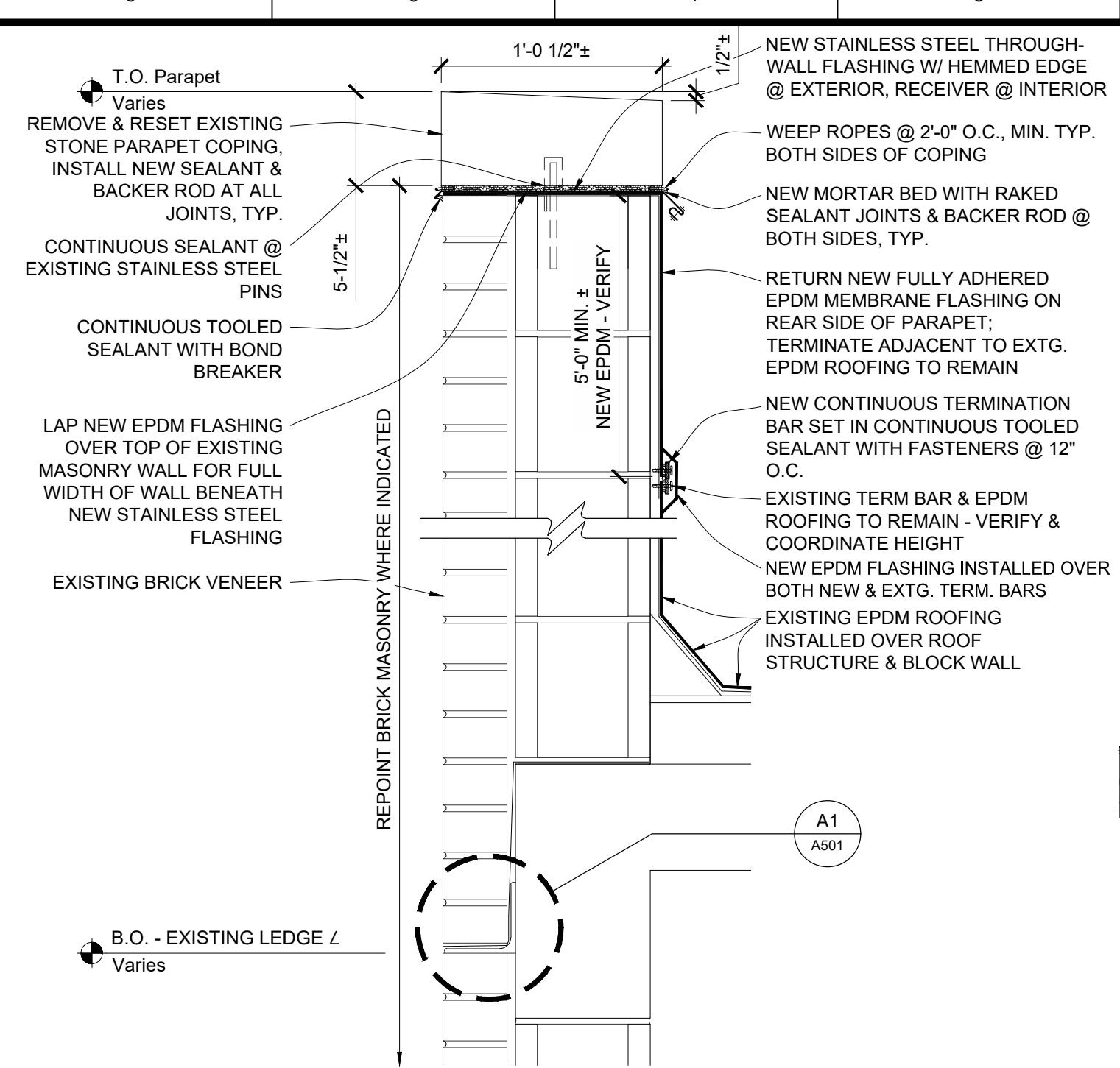
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NEW WORK: ELEVATIONS: GILLETT

No.	Revisions:	Date:

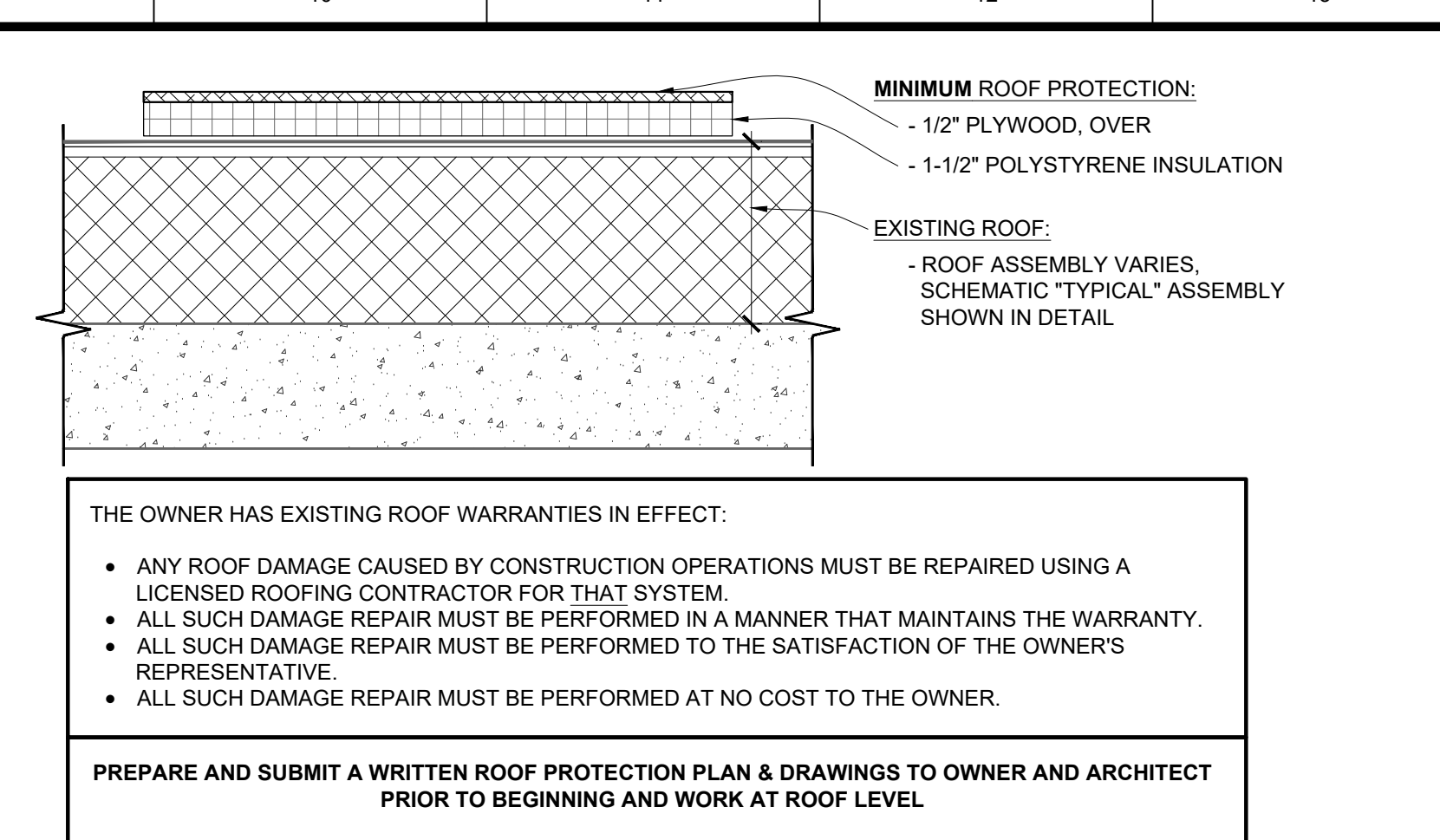
Submission Date:	2023.12.05	Drawing Number:	A208
Plot Date:	2023.11.21		



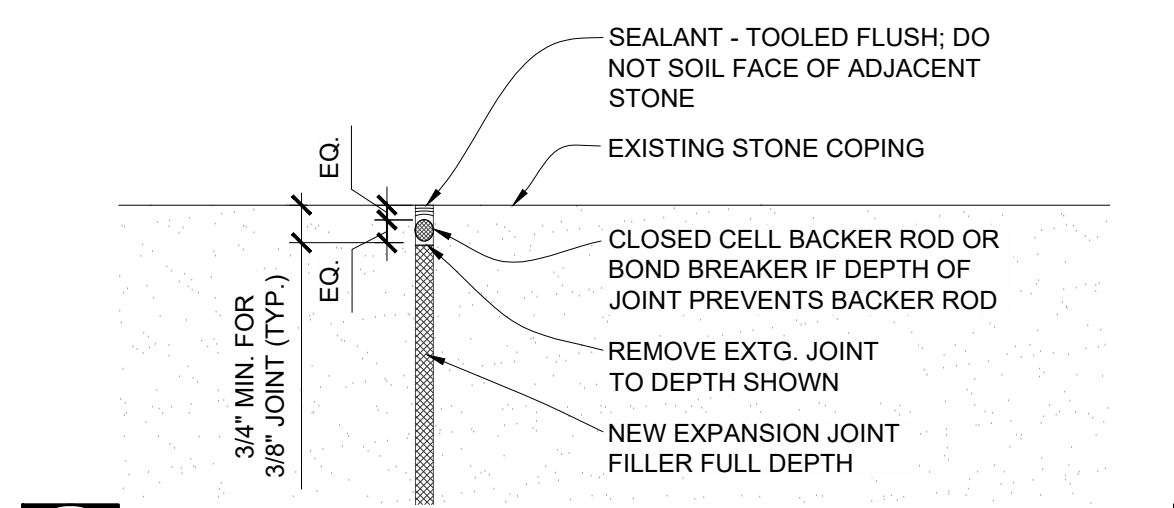
H1 TYP. PARAPET DETAIL AT STONE COPING: GILLETT
SCALE: 1-1/2" = 1'-0"



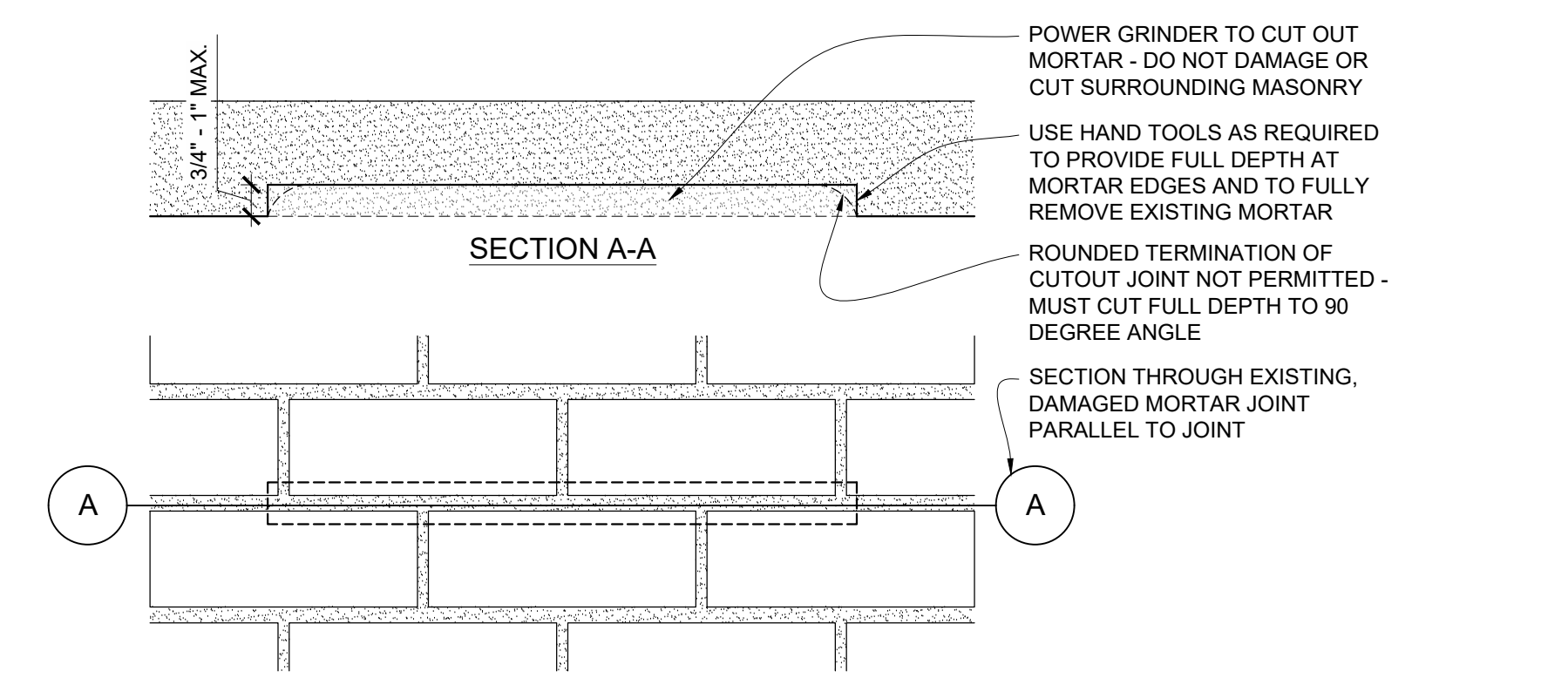
H5 TYP. PARAPET DETAIL AT STONE COPING: HUDSON
SCALE: 1-1/2" = 1'-0"



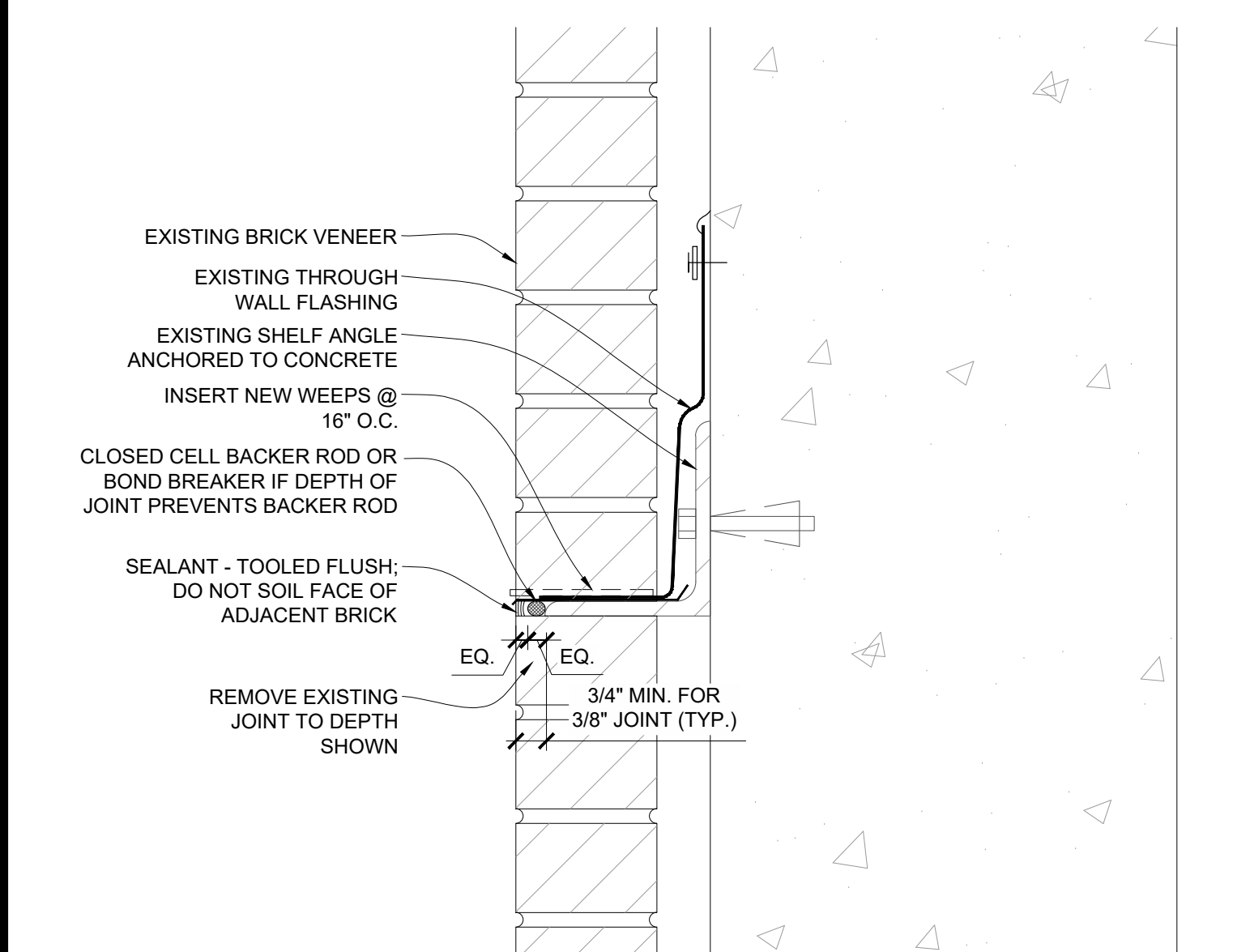
K9 TYP. ROOF PROTECTION DETAIL
SCALE: 1-1/2" = 1'-0"



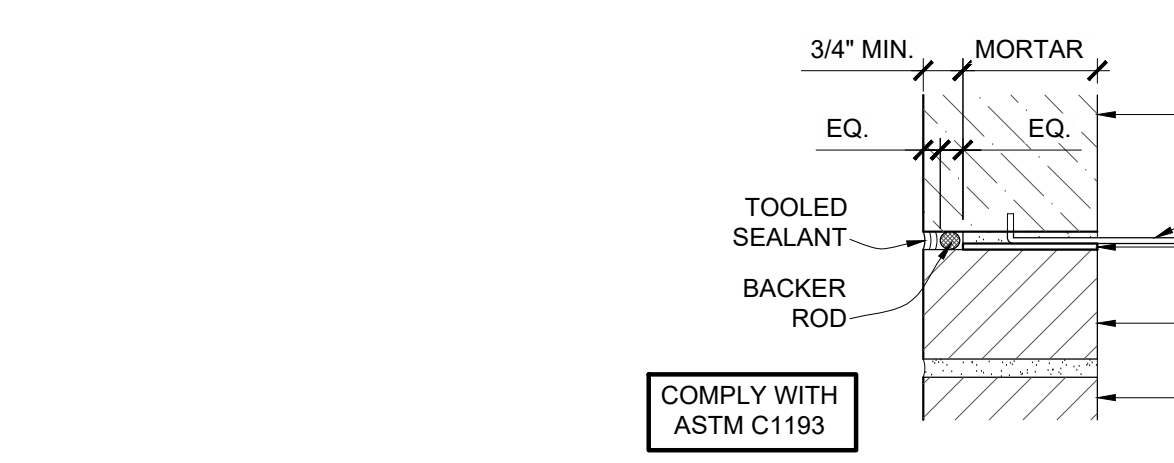
G6 TYP. STONE COPING HEAD JOINT DETAIL
SCALE: 3" = 1'-0"



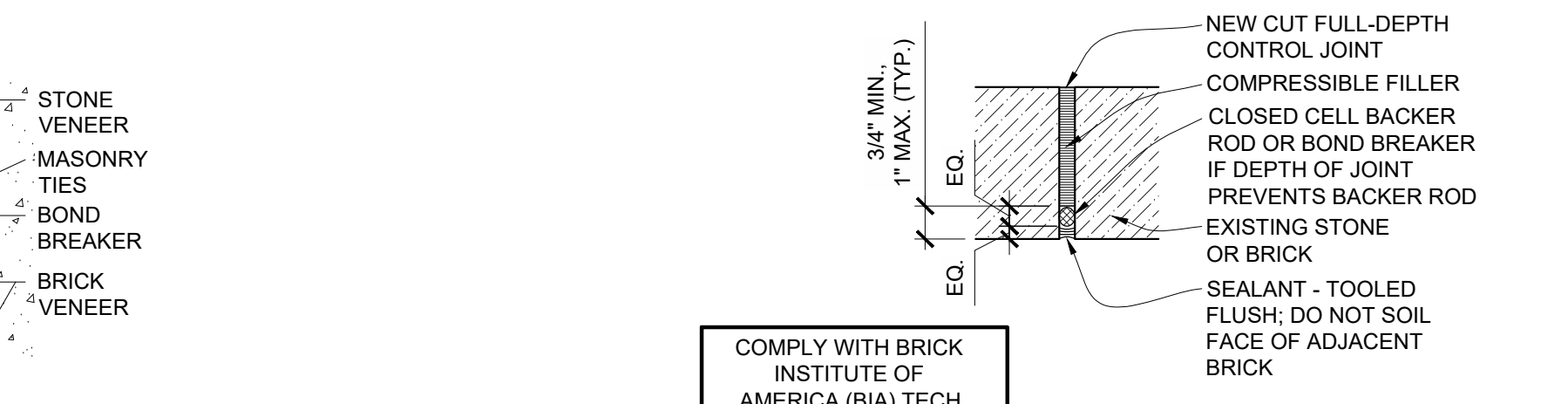
G9 TYPICAL REPOINTING DETAIL
SCALE: 3" = 1'-0"



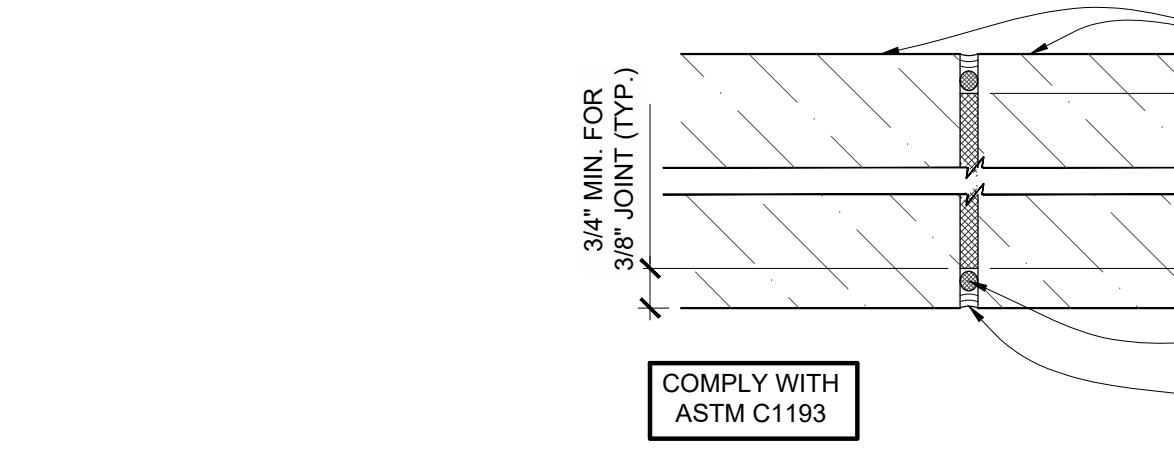
A1 TYP. LEDGE ANGLE DETAIL
SCALE: 3" = 1'-0"



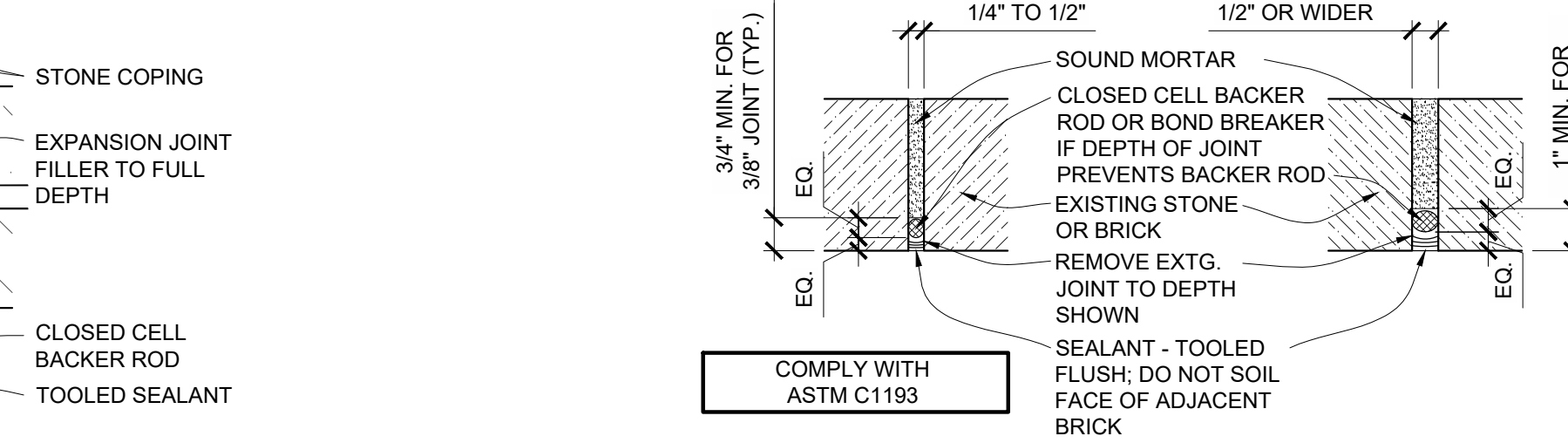
E7 TYP. MASONRY JOINTS: STONE TO BRICK VENEER
SCALE: 3" = 1'-0"



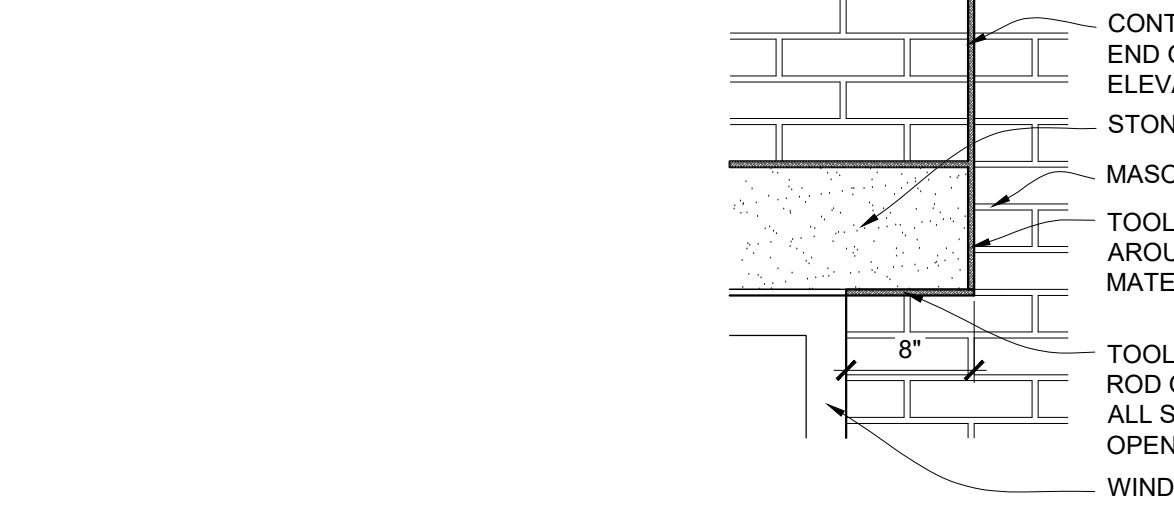
E11 TYP. NEW CUT CONTROL JT. @ EXISTING MASONRY
SCALE: 3" = 1'-0"



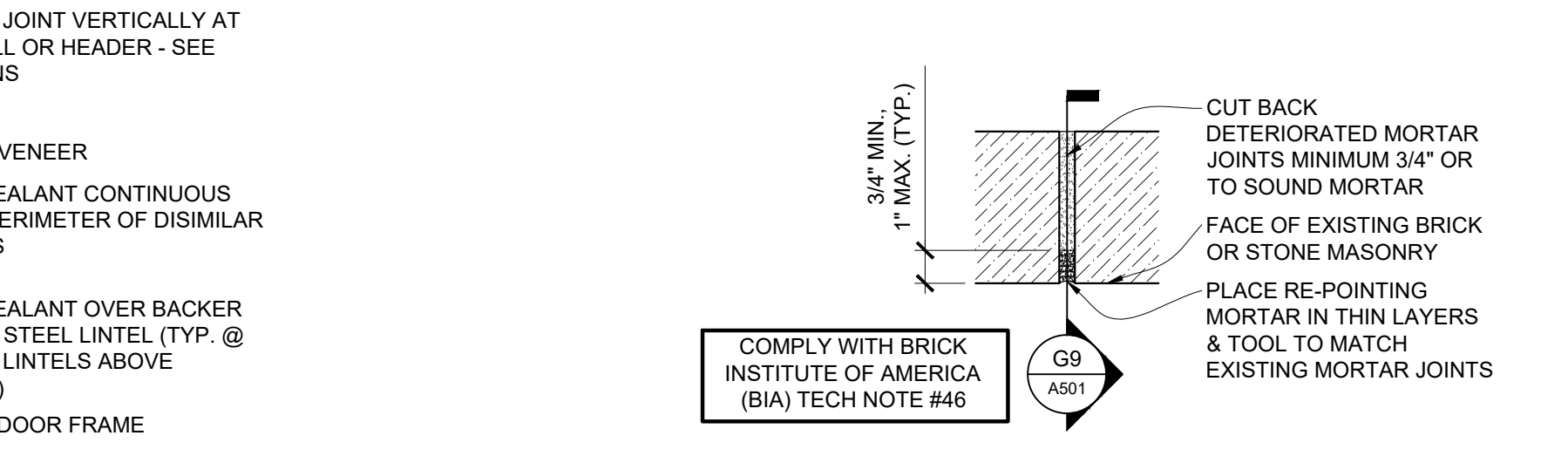
C7 TYP. PLAN DETAIL: NEW MASONRY JOINTS AT STONE COPING
SCALE: 3" = 1'-0"



C11 TYP. REPOINT SEALANT JOINT / NEW 'RAKE AND SEAL' JOINT @ EXISTING MASONRY
SCALE: 3" = 1'-0"

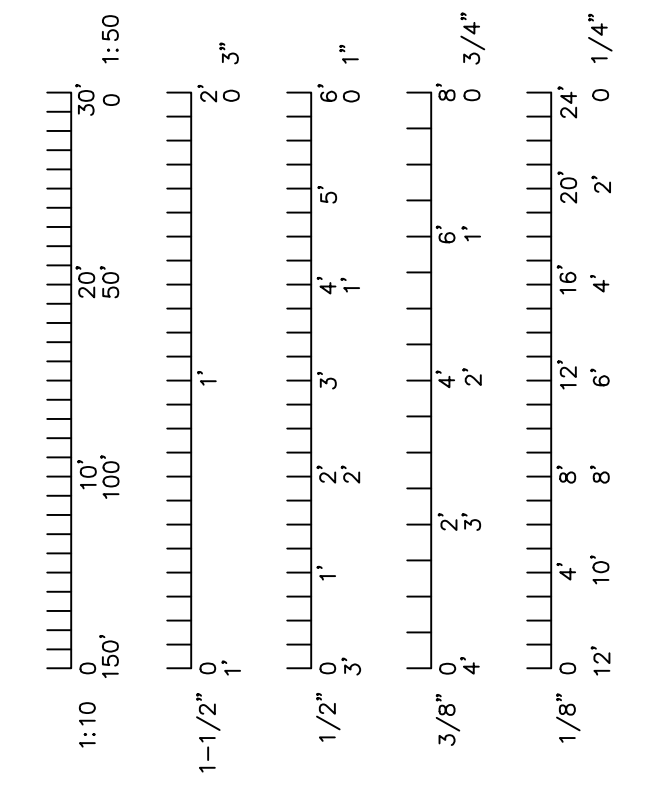


A7 TYP. ELEVATION DETAIL: MASONRY JOINTS AT DISSIMILAR MATERIALS
SCALE: 1" = 1'-0"



A11 TYP. REPOINT MORTAR JOINT @ EXISTING MASONRY
SCALE: 3" = 1'-0"

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 - FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO EXECUTING ANY WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DIMENSIONS OR WORK DIFFERING FROM THAT SHOWN FOR CLARIFICATION BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS ARE TO FACE OF STUD, OR MASONRY, UNLESS OTHERWISE NOTED.
 - PROTECT ALL ADJACENT AREAS, INCLUDING LANDSCAPING NOT DESIGNATED FOR WORK. FROM DAMAGE AS A RESULT OF THIS WORK. DAMAGED ITEMS WILL BE REPAIRED BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF THE REPAIRS.
 - FLASHING DETAILS SHOWN ARE BASED ON STANDARD DETAILS FROM THE SHEETMETAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). NOTIFY OWNER'S REPRESENTATIVE OR FABRICATOR OF INSTALLATION REQUIREMENTS THAT DIFFER FROM THOSE SHOWN. DO NOT PROCEED WITH WORK UNTIL INSTRUCTIONS ARE RECEIVED FROM OWNER'S REPRESENTATIVE.
 - PERFORM ALL TUCKPOINTING WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECH NOTES PUBLICATION #6, AND THE CONTRACT DOCUMENTS, WHICHEVER IS THE MOST STRINGENT.
 - NO CONSTRUCTION TRAFFIC IS ALLOWED ON THE ROOF WITHOUT PROTECTION BOARDS AS DEFINED IN THE PROJECT DOCUMENTS OR AS OTHERWISE PERMITTED BY THE OWNER'S REPRESENTATIVE.
 - PROTECT ALL AREAS THAT INTERFACE WITH SCAFFOLDING SUCH AS COPINGS, FLASHINGS, AND OTHER LIKE ITEMS.
 - COORDINATE ALL REQUIRED UTILITIES WITH OWNER.
 - DO NOT SCALE DRAWINGS - WHERE DIMENSIONAL DISCREPANCIES ARE ENCOUNTERED NOTIFY ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 - UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.
 - INDEPENDENT TESTING AGENCY MAY BE HIRED BY THE OWNER TO CUT OUT AND REMOVE INSTALLED SEALANT JOINTS IN SIX (6) LOCATIONS OF APPROXIMATELY ONE (1) LINEAR FOOT PER LOCATION. LOCATIONS WILL BE RANDOMLY SELECTED BY THE OWNER'S REPRESENTATIVE. THE WORK WILL BE CHECKED BY THE OWNER'S REPRESENTATIVE FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS IN ACCORDANCE TO ASTM C1193. IF DEFECTIVE WORK IS FOUND, FURTHER TESTS MAY BE REQUIRED AT NO ADDITIONAL COST TO THE OWNER. IF ANY TEST SECTION REVEALS NON-COMPLYING WORK, REMOVE ALL ADJACENT SEALANT WORK TO THE POINT WHERE WORK IS FOUND IN COMPLIANCE; RE-SEAL PER THE CONTRACT DOCUMENTS. IF MORE THAN FOUR (4) TESTS FAIL TO MEET THE CONTRACT DOCUMENT REQUIREMENTS, THE CONTRACTOR MAY BE REQUIRED TO RE-SEAL THE ENTIRE BUILDING OR SELECTED SECTIONS OF THE BUILDING AT NO ADDITIONAL COST TO THE OWNER. PROVIDE LIFTS OR OTHER ACCEPTABLE MEANS OF ACCESS TO THE WORK.
 - LEAVE AREA CLEAN AND FREE OF DEBRIS AT THE END OF EACH DAY.
 - UNLESS OTHERWISE NOTED OR SHOWN, DIMENSIONS ARE PROVIDED FOR PURPOSES OF OBTAINING APPROXIMATE QUANTITIES ONLY. FIELD VERIFY ALL QUANTITIES.



Project CP231031
VARIOUS LOCATIONS -
REPAIR MASONRY STAIR TOWERS
AT HUDSON AND GILLETT
COLUMBIA, MO
University of Missouri
For: The Curators of the University of Missouri

Drawn:	ER, DP	Project Number:	202302
Checked:	ER	CAD File Name (Number):	A501.DWG
Drawing Title:	NEW WORK: DETAILS		
No.	Revisions:	Date:	
Submission Date:		Drawing Number:	
2023.12.05		A501	
Plot Date:		2023.11.21	