

ADDENDUM NUMBER TWO

To the Drawings and Project Manual

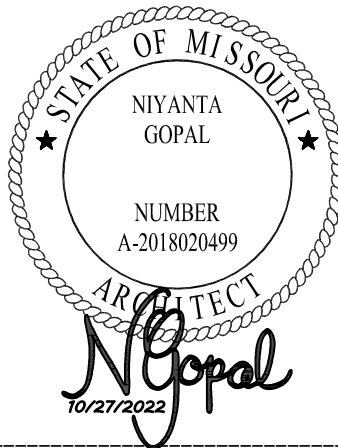
Dated: 3 October 2022

Entitled:

University Physician's Medical Building (UPMB) – 4th Floor – MOA
Clinic Renovation
MU Project No. #CP221944
At the University of Missouri
Columbia, MO
For the Curators of the University of Missouri

Prepared By:

BSA LIFESTRUCTURES
12645 Olive Blvd. Suite 227
Creve Coeur, MO 63141



Niyanta Gopal
MO Registration No. A-2018020499

Addendum Dated: 27 October 2022

Project Number: 14110005

RESPONSES TO QUESTIONS

1. *Could we get clarification on Note X06 - Remove existing flooring and base entirely. It does not show this note, so where is this supposed to take place? Also could we make clear start and stop points of removal of resilient flooring in Note X26 and X27?*
 - a. Note X06 is located in Room 4206. Clarification has been provided on Notes X27. Note X26 applies to the entire room, demo stops at the middle of the doorway. See revisions on sheet A100.

RESPONSES TO GBA REVIEW

1. *Include Statement of Special Inspections on Construction Documents or state that none are required (2021 IBC 107.1 & 1704.3).*
 - a. None required. This is shown on sheet G200 Addendum #02.
2. *Include list of Deferred Submittals or state that none are anticipated (2021 IBC 107.3.4.1).*
 - b. Deferred Submittals will include Fire Alarm and Fire Sprinkler. This is shown on sheet G200 Addendum #02.
3. *Provide Risk Category for the building on the construction documents.*
 - c. Risk Category II. This is shown on sheet G200 Addendum #02.
4. *G200: Demonstrate compliance with 2021 IBC Section 703.5, Marking and Identification of fire rated wall assemblies.*
 - a. All fire rated wall assemblies are existing to remain.
5. *G200: Document that Centering Room #4003 will have signage posted stating a max. occupant load of 49 posted inside the room. A posted occupant load of 49 for this space requires the approval of the AHJ.*
 - b. Refer to attached letter from Charles D. Bouse, Jr. Dated 04/20/2022. Signage will be provided in this room per note A11 on sheet A124.
6. *G200: Document that Corridor #C4202, as called out on sheet A114, is a dead-end corridor less than 50'.*
 - c. This is an existing corridor to remain, dimension is shown on sheet G200 Addendum #02.
7. *G200: Centering Room #4003 shows a common path of travel of 56'. Provide clarification of two exits being available where the common path of travel is shown to end.*
 - d. This is shown on sheet G200 Addendum #02.
8. *G200: Document occupant loads of areas on plan to show how occupant load of 172 listed in Plumbing Fixture Count Table was derived.*
 - e. This is shown on G200 Addendum #02.
9. *G200: Clarify Fire Resistance Fire Rating Requirements for Roof Construction. Table 601 shows Type IB roof construction having a 1-hour rating.*
 - f. Previous drawings of building indicated this to utilize sub note b as 20' above the finish floor. Upon further review, Roof Construction has been updated on G200 Addendum #02.

10. E101: Keyed Note #3, provide GFCI receptacle or breaker for water cooler, or show that one exists. (NEC 422.5 A, 2).
 - a. E101 Key Note #3 will be revised in Addendum #2 to identify that the water cooler will be fed from a GFCI circuit breaker.

CHANGES TO THE DRAWINGS

1. DRAWING G200: CODE SUMMARY & LIFE SAFETY PLAN
 - a. REVISE drawing per GBA review (see above)
2. DRAWING A100: DEMOLITION PLAN- FOURTH FLOOR
 - a. ADD clarification to note X27.
3. DRAWING E101: ELECTRICAL FOURTH FLOOR NEW WORK PLAN
 - a. REVISE keyed note 3 to read: PROVIDE FINAL CONNECTION TO NEW BOTTLE/WATER COOLER, REUSE EXISTING CIRCUIT WIRING AND ADD A 20A GFCI RECEPTACLE FOR CONNECTION AT THE UNIT. COORDINAE THE LOCATION OF RECEPTACLE WITH BOTTLE/WATER COOLER SHOP DRAWING

END OF ADDENDUM NUMBER TWO

Attachments:

Ross & Baruzzini Addendum 02 Narrative, Letter (Subject: FW: CP221944 UPMB 4th Flr Renov: GBA Plan Review - AHJ Apprvl for Occupant Posting of 49), Drawing G000, Drawing A100



CP221944 UPMB Addendum # 2

PROJECT: UPMB 4th Floor MOA Clinic Renovation
PROJECT NO: MUHC – CP221944, R&B - 1202.0011413.000
DATE: October 27, 2022
BY: Chris Philipp
RE: Addendum #2
DWG REF: See below
SPEC REF: See below
CC: Central File

The following additions, revisions and modifications are hereby made part of the contract documents, which shall be amended accordingly. Acknowledge receipt of addenda on bid form. Failure of your acknowledgement of receipt of this addendum may result in rejection of your offer.

INSTRUCTIONS

Drawings

ELECTRICAL

1. E101
 - a. REVISE keyed note 3 to read:
 3. PROVIDE FINAL CONNECTION TO NEW BOTTLE/WATER COOLER, REUSE EXISTING CIRCUIT WIRING AND ADD A 20A GFCI RECEPTACLE FOR CONNECTION AT THE UNIT. COORDINAE THE LOCATION OF RECEPTACLE WITH BOTTLE/WATER COOLER SHOP DRAWING.

SIGNED: Chris Philipp



Niyanta Gopal <ngopal@bsalifestructures.com>

FW: CP221944 UPMB 4th Flr Renov: GBA Plan Review - AHJ Apprvl for Occupant Posting of 49

Wawrzyniak, Jude <wawrzyniakj@missouri.edu>

Wed, Oct 26, 2022 at 1:29 PM

To: Niyanta Gopal <ngopal@bsalifestructures.com>

Cc: Jackie Foy <jfoy@bsalifestructures.com>, "Miller, Emily C" <milleremil@health.missouri.edu>, "King, Ryan" <rking@bsalifestructures.com>

Niyanta,

Please reference and attach this email to the GBA Plan Review Comments, pertaining to Architectural Item 2 comment/request.

--Jude

Jude Wawrzyniak

Health Facilities Project Development Manager

Planning, Design & Construction

[1 Hospital Dr.](#) | [Columbia, MO 65212](#)

P: 573-882-9340 |

E: wawrzyniakj@missouri.edu

From: Bouse Jr, Charles D. <bousec@umsystem.edu>

Sent: Wednesday, October 26, 2022 1:21 PM

To: Joe Kmetz <jkmetz@gbateam.com>

Cc: Asbury, Beth <AsburyB@umsystem.edu>; Haynes, Dennis J. <haynesdj@umsystem.edu>; Wawrzyniak, Jude <wawrzyniakj@missouri.edu>

Subject: FW: CP221944 UPMB 4th Flr Renov: GBA Plan Review - AHJ Apprvl for Occupant Posting of 49

Joe,

The AHJ has agreed to posting an occupant load of 49 maximum for the Centering Room. For your file.

Thanks,

Chuck

Charles D. Bouse, Jr. AIA, LEED AP, BD&C

UM System Architect – Asst. Director, Facilities Planning & Development

University of Missouri System, 134 General Services Building, Columbia, MO 65211

Phone: (573)882-9350 bousec@umsystem.edu



University of Missouri System
COLUMBIA | KANSAS CITY | ROLLA | ST. LOUIS



From: Wawrzyniak, Jude <wawrzyniakj@missouri.edu>
Sent: Wednesday, October 26, 2022 10:11 AM
To: Bouse Jr, Charles D. <bousec@umsystem.edu>
Subject: CP221944 UPMB 4th Flr Renov: GBA Plan Review - AHJ Apprvl for Occupant Posting of 49

Chuck,

For reference, I am attaching an email exchange between you and I from 4/20/22 regarding a space called Centering Room as part of the UPMB 4th Floor Renovation, and the notion of posting its Maximum Occupancy of 49 Persons.

This project is currently out to bid with bids due Nov. 1, 2022. Concurrently, the project is also in for a Plan Review by GBA. GBA has posted their first-round Review Comments and indicated that under Architectural/Life Safety Item 2, on Sheet G200, that posting an Occupant Load of 49 Maximum for the Centering Room requires AHJ approval, and GBA is requesting evidence of this approval.

I am attaching the GBA first-round Review Comment document, and also a copy of Sheets G200 and A124 with highlighted areas that speak to the Centering Room and its occupancy for your reference.

Can you help me in configuring whatever documentation is necessary to satisfy GBA's Architectural/Life Safety Item 2 Plan Review Comment so I can provide that to the design architect at BSA LifeStructures to use in their response? Perhaps all I need to do is share the email exchange between you and I from 4/20/22, but I want to make sure you are aligned with that, or may have another approach.

Thank you.

--Jude

Jude Wawrzyniak

Health Facilities Project Development Manager

Planning, Design & Construction

1 Hospital Dr. | Columbia, MO 65212

P: 573-882-9340 |
E: wawrzyniakj@missouri.edu

----- Forwarded message -----

From: "Bouse Jr, Charles D." <bousec@umsystem.edu>
To: "Miller, Emily C" <milleremil@health.missouri.edu>, "Wawrzyniak, Jude" <wawrzyniakj@missouri.edu>
Cc:
Bcc:
Date: Wed, 20 Apr 2022 13:23:03 +0000
Subject: FW: CP221944 UPMB 4th- MOA Clinic Renov: Centering Rm Occupancy/Size/Exit Discussion

Jude,

The use of the space could be classified as a classroom based on it's use as a Centering Room, see table 1004.5 20 net occupant factor for classrooms .

The space could also included tables and chairs at some point in the future, so you could use Assembly unconcentrated (tables and chairs) 15 net occupant factor for any future uses. – for mechanical system calculations and as a maximum allowable for single egress.

Posting an occupant load of 49, sounds like a good idea so it is understood that the mechanical system and egress is designed for that maximum load factor, this makes it clear to anyone that might be scheduling to use the space in the future.

Any of these types of small assembly spaces that exceed the 750 sf become issues of concern to the AHJ when they do not have 2 means of egress, this space is understood to be under that limit.

Small assembly space in a group B (303.1.2) (1) A room or space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy. (2) A room or space used for assembly purposes that is less than 750 square feet in area and accessory to another occupancy shall be classified as part of that occupancy.

Let me know if you have any further questions.

Thanks,

Chuck

Charles D. Bouse, Jr. AIA, LEED AP, BD&C

UM System Architect – Asst. Director, Facilities Planning & Development

University of Missouri System, Old Alumni Center, 1105 Carrie Francke Drive, Columbia, MO 65211

Phone: (573)882-9350 bousec@umsystem.edu



University of Missouri System
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From: Wawrzyniak, Jude <wawrzyniakj@missouri.edu>
Sent: Monday, April 18, 2022 5:48 PM
To: Bouse Jr, Charles D. <bousec@umsystem.edu>
Cc: Asbury, Beth <AsburyB@umsystem.edu>; Miller, Emily C <milleremil@health.missouri.edu>
Subject: CP221944 UPMB 4th- MOA Clinic Renov: Centering Rm Occupancy/Size/Exit Discussion

Chuck,

Emily Miller and I are co-managing the MOA Clinic Renovation/Backfill project in the UPMB 4th Floor.

Attached find the SD Progress Plan. Note that only the shaded colored spaces/rooms are intended to be renovated and/or reconfigured and the goal and intent is to reuse as many existing spaces in their “as-is” state as possible, although we realize there will be some incidental work affecting them as well (new power or data or water lines above them in order to serve the renovated spaces, and/or transitioning of new finishes with existing finishes to remain).

The layout is substantially resolved except for the southeast (lower right) corner of the plan where there is a Centering Room 4003A (approx. 665sf) and an adjacent APRN Work Rm 4003 (approx.. 212sf).

The architect, BSA LifeStructures, was reluctant to show the configuration as is attached concerned that the Centering Room could be interpreted to have an occupancy of 95 persons (based on 665sf divided by 7sf/person) since it would be a large open space using primarily chairs only, and therefore require two exit doors, and those doors would need greater than ½ the space diagonal distance separation between them.

However, the clinic users and administrator indicate that the room is used for pregnant women to sit in a circle-type group setting, and is not a high-density occupancy intent. They indicate there would typically at most be 25-30 “moms” in the room at one time.

The layout of these two rooms as shown on the attached, makes the most efficient use of the space. In order to gain two exits with the required minimum separation results in basically creating an additional corridor and then we must limit its dead-end to 20 feet. So Emily and I asked BSA to draw up the desired layout and that we would review it internally with the University Architect and AHJ staff to determine whether it would be acceptable or not. As BSA has noted, we would propose posting the Max Rm Occupancy of 49, and they have represented the common path of travel is less than 75 feet. Based on these attributes it appears to meet code and the intended use.

I'm going to schedule a short zoom session for Emily, you and I to review and discuss before getting back to BSA on this. We all appear to be open on Outlook for Apr 20, 3:30-4:00pm; I'll send out a Notice for that date/time.

Thank you.

--Jude

Jude Wawrzyniak

Health Facilities Project Development Manager

Planning, Design & Construction

1 Hospital Dr. | Columbia, MO 65212

P: 573-882-9340 |

E: wawrzyniakj@missouri.edu

4 attachments



2022-04-18_A04 - FOURTH FLOOR SCHEMATIC PLAN.pdf
456K



FW: CP221944 UPMB 4th- MOA Clinic Renov: Centering Rm Occupancy/Size/Exit Discussion.eml
674K

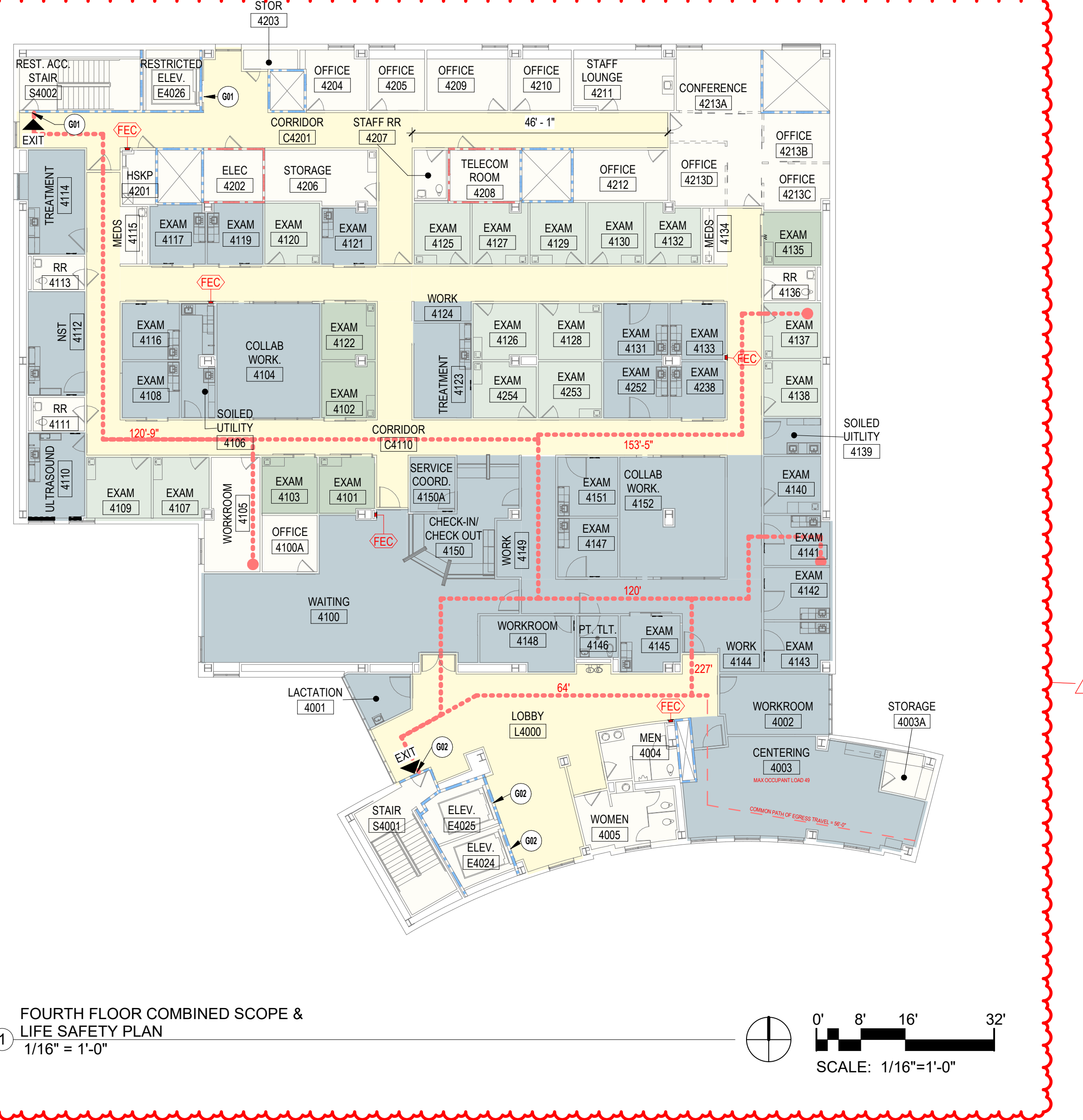


Plan Review Form - (CP221944) UPMB - 4th Floor - Occupant Load 49.pdf
107K



G200 A124 Pages from CP221944_BID_SET.pdf
2621K

10/27/2022 8:56:13 AM
 BIM 360://1410005 - UPMB Renovation/1410005-ACCT_BSA_L_001.rvt
 User: Niyanta Gopal
 Status: APPROVED
 Approved: Niyanta Gopal



FOURTH FLOOR COMBINED SCOPE & LIFE SAFETY PLAN
 1/16" = 1'-0"



PLUMBING FIXTURE COUNT (TABLE 2902.1)		
OCCUPANCY TYPE: BUSINESS	REQUIREMENT	NUMBER REQUIRED
172 OCCUPANT LOAD 4th Floor (19,000 SF) - Centering (651 SF) = 18,338 SF 18,338 SF / 150 = Occupant Load 123 661 SF = Occupant Load 49 Max Total Occupant Load 172		
WATER CLOSETS	1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50	5
LAVATORIES	1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80	4
DRINKING FOUNTAINS	1 PER 100	2
SERVICE SINK	1 SERVICE SINK	1

CODE SUMMARY	
PROJECT INFORMATION:	
NAME:	UPMB 4TH FLOOR RENOVATION
ADDRESS:	1020 HITT ST., COLUMBIA, MO 65212
PROJECT DESCRIPTION:	FULL RENOVATION OF APPROX. -6,500 SF RENOVATION OF EXISTING 19,000 SF UPMB 4TH FLOOR IIBC 2021 ALTERATION LEVEL 2
OWNER:	UNIVERSITY OF MISSOURI - UNIVERSITY PHYSICIANS MEDICAL BUILDING, FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI
DESIGN PROFESSIONAL:	
ARCHITECT:	BSA LIFESTRUCTURES
ADDRESS:	12645 OLIVE BLVD. SUITE 227
CONTACT:	NIYANTA GOPAL 913-622-9353 NGOPAL@BSALS.COM
CODE INFORMATION:	
2021	INTERNATIONAL BUILDING CODE (FOR LEVEL 1 LEVEL 2 ALTERATIONS ONLY WITH PREAPPROVAL FROM AHJ)
2021	INTERNATIONAL EXISTING BUILDING CODE (FOR LEVEL 1 LEVEL 2 ALTERATIONS ONLY WITH PREAPPROVAL FROM AHJ)
* University AHJ concluded it acceptable to classify the project as a IIBC - Alteration Level 2 so long as the project defined scope gross square footage is less than 50% of the existing floor gross square footage, as recorded in MUPIC Internal Meeting Notes with AHJ dated May 4, 2022.	
2021	INTERNATIONAL PLUMBING CODE
2021	INTERNATIONAL MECHANICAL CODE
2021	INTERNATIONAL FIRE CODE
2017	ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2020	NATIONAL ELECTRIC CODE/ NFPA 70
2019	NFPA 110 STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS
2012	NFPA 101 LIFE SAFETY CODE
2012	NFPA 99 STANDARD FOR HEALTH CARE FACILITIES
2018	NFPA 90A INSTALLATION OF AIR CONDITIONING AND VENTILATING SYSTEMS
2017	NFPA 75 STANDARD FOR THE FIRE PROTECTION OF INFORMATION TECHNOLOGY EQUIPMENT
2019	NFPA 72 NATIONAL FIRE ALARM CODE
2019	NFPA 518 STANDARD FOR FIRE PREVENTION DURING WELDING, CUTTING, AND OTHER HOT WORK
2019	NFPA 13 INSTALLATION OF FIRE SPRINKLER SYSTEMS
2019	ASHRAE 62.1 VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY (VENTILATION RATES FOR SPACES NOT FOUND IN ASHRAE STANDARD 170 OR THE HIGHER OF THE TWO AIR CHANGE RATES DESCRIBED IN BOTH)
2019	ASHRAE 90.1 ENERGY STANDARD FOR BUILDINGS
2017	ASHRAE 170 VENTILATION OF HEALTH CARE FACILITIES
2018	ASME A17.1 - SAFETY CODE FOR ELEVATORS AND ESCALATORS
2010	AMERICANS WITH DISABILITIES ACT - STANDARDS FOR ACCESSIBLE DESIGN
2018	FACILITIES GUIDELINES INSTITUTE
BUILDING DATA:	
OCCUPANCY:	B
CONSTRUCTION TYPE:	1B
ALLOWABLE AREA:	UNLIMITED (19,000 SF EXISTING)
ALLOWABLE STORIES:	12 STORIES (4 STORIES EXISTING)
ALLOWABLE HEIGHT:	180 FT (52 FT EXISTING)
COMMON PATH OF EGRESS TRAVEL:	
B OCCUPANCY	100 FT
EXIT ACCESS TRAVEL DISTANCE:	
B OCCUPANCY	300 FT
EXIT CAPACITY:	
B OCCUPANCY	STAIRWAYS = 38 INCHES OTHER = 25 INCHES
CORRIDORS:	
MINIMUM WIDTH:	44"
DEAD END:	50"
FIRE EXTINGUISHERS:	
MAXIMUM TRAVEL DISTANCE:	75'
LIFE SAFETY FEATURES:	
SPRINKLER SYSTEM THROUGH-OUT	
SMOKE DETECTORS & FIRE ALARM SYSTEM	
EMERGENCY LIGHTS- INVERTER BACKUP	
EXIT LIGHTS- INVERTER BACKUP	
FIRE RESISTANCE RATING REQUIREMENTS:	
STRUCTURAL FRAME:	2 HOURS - EXISTING
FLOOR CONSTRUCTION:	2 HOURS - EXISTING
ROOF CONSTRUCTION:	2 HOURS - EXISTING
SHAFT ENCLOSURE:	2 HOURS - EXISTING
STAIR CONSTRUCTION:	2 HOURS - EXISTING
SPECIAL INSPECTION REQUIRED: NONE	
DEFERRED SUBMITTAL REQUIRED: FIRE ALARM, FIRE SPRINKLER	
BUILDING RISK CATEGORY: II	

LIFE-SAFETY SYMBOLS LEGEND	
ROOM [000]	ROOM NAME DESIGNATION
ROOM [000]	ROOM NUMBER DESIGNATION
(A)	PLAN NOTE DESIGNATION
EXIT	EXIT SYMBOL
(FEX)	FIRE EXTINGUISHER
(FEC)	FIRE EXTINGUISHER CABINET

PROJECT/SCOPE SF TABLE	
FOR REFERENCE ONLY	
ALTERATION LEVEL 2: FULL RENOVATION	6,887 SF
ALTERATION LEVEL 2: REPLACE DOOR + POWER & DATA MODIFICATIONS ONLY	483 SF
ALTERATION LEVEL 2: POWER & DATA MODIFICATIONS ONLY	1,583 SF
TOTAL ALTERATION LEVEL 2:	8,953 SF
NO ALTERATION: INCIDENTAL WORK ONLY	4,274 SF
NO ALTERATION: NO MODIFICATIONS	5,983 SF
TOTAL NO ALTERATION:	10,258 SF

WALL RATINGS	
1-HOUR RATED FIRE - (1HR)	[Red and White Pattern]
2-HOUR RATED FIRE - (2HR)	[Blue and White Pattern]

KEYNOTE LEGEND	
REFER TO A000 FOR GENERAL NOTES	
G01	PROVIDE TEMPORARY CONSTRUCTION BARRIER FOR CONTRACTOR ACCESS AT THIS LOCATION PER INFECTION CONTROL SPECIFICATIONS.
G02	PROVIDE TEMPORARY CONSTRUCTION BARRIER TO RESTRICT PUBLIC ACCESS AT THIS LOCATION PER INFECTION CONTROL SPECIFICATIONS.

BSA

BSA LifeStructures
 12645 Olive Blvd, Suite 227
 Creve Coeur, MO 63141
 ph 314.754.6306 fx 314.754.4452
 Architectural Registration Number - 2003010309

Ross & Baruzzini

MEP ENGINEERING:
 Ross & Baruzzini
 6 S Old Orchard Ave
 St. Louis, MO 63119
 ph 314.918.8383 www.rossbar.com
 Missouri State Certificate of Authority #000148

Timberlake ENGINEERING

A Custom Engineering Company
 LIGHTING ENGINEERING:
 Timberlake Engineering
 912 Old Highway 63 South
 Columbia, MO 65201
 ph 573.875.4365 ext 209 www.customengr.com
 Missouri State Certificate of Authority #000239

Health Care

MU PROJECT NO. - CP221944
UNIVERSITY PHYSICIANS MEDICAL BUILDING (UPMB) - 4TH FLOOR - MOA CLINIC RENOVATION
 1020 Hitt St, Columbia, MO 65212

BID SET

MARK	DATE	DESCRIPTION
B	10/27/2022	ADDENDUM 02

I hereby certify these drawings and/or specifications have been prepared by me, or under my supervision, I further certify that to the best of my knowledge these drawings and/or specifications are as required by and in compliance with the Building Codes of the University of Missouri.



CODE SUMMARY & LIFE SAFETY PLAN

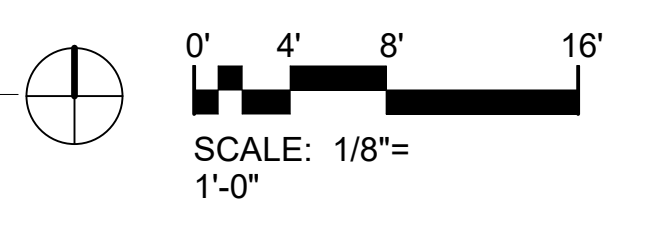
- THIS SHEET SHALL BE PRINTED IN COLOR -

DATE	3 OCTOBER 2022
BSALS PROJECT NO.	14110005

G200



1 FOURTH FLOOR DEMOLITION PLAN
1/8" = 1'-0"



KEYNOTE LEGEND	
REFER TO 4000 FOR GENERAL NOTES	
X01	EXISTING SPACE TO REMAIN, NO WORK.
X02	REMOVE EXISTING VALVE BOX, REF MEP DRAWINGS.
X05	REMOVE EXISTING DOOR, FRAME, HEADER AND HARDWARE IN ITS ENTIRETY. PREPARE OPENING TO BE INFILLED WITH NEW WALL CONSTRUCTION. REFER TO ARCHITECTURAL DIMENSION PLANS FOR ADDITIONAL INFORMATION.
X06	REMOVE EXISTING FLOORING AND BASE IN THEIR ENTIRETY. PREPARE FLOOR SLAB TO RECEIVE NEW FLOOR FINISH. PREPARE WALL TO RECEIVE NEW BASE. REFER TO INTERIOR FINISH PLANS FOR ADDITIONAL INFORMATION.
X07	REMOVE EXISTING CASEWORK IN ITS ENTIRETY.
X08	REMOVE EXISTING CASING IN ITS ENTIRETY. PREPARE WALL TO RECEIVE NEW WALL FINISH. REFER TO INTERIOR FINISH PLANS FOR ADDITIONAL INFORMATION.
X10	EXISTING FIRE EXTINGUISHER CABINET TO REMAIN, PROTECT.
X11	REMOVE EXISTING PLUMBING FIXTURE.
X13	REMOVE EXISTING CEILINGS AND SOFFITS. REMOVE ALL WALL MOUNTED EQUIPMENT AND CEILING MOUNTED EQUIPMENT. RETURN ALL EQUIPMENT TO OWNER. PREPARE WALLS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X14	REMOVE EXISTING DRYWALL AND PATCH AS REQUIRED TO ACCOMMODATE NEW ELECTRICAL AND DATA. AND IN WALL BACKING FOR WALL MOUNTED COMPUTER ONLY. PROTECT ALL FINISHES AND EQUIPMENT IN EXISTING SPACE.
X15	REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW OPENING. COORDINATE WITH NEW WORK PLAN AND OPENING DETAILS.
X16	REMOVE EXISTING RECOUNTABLE PARTITION.
X17	EXISTING DRINKING FOUNTAIN TO REMAIN. REMOVE DRYWALL AS REQUIRED TO PROVIDE WATER BOTTLE FILLER PER PLUMBING DRAWINGS.
X18	REMOVE PORTION OF EXISTING WALL TO CREATE NEW OPENING. REFER TO DIMENSION PLAN FOR LOCATION & ADDITIONAL INFORMATION.
X19	REMOVE EXISTING FIRE EXTINGUISHER & BRACKET.
X20	EXISTING WINDOW/SILL TO BE REMOVED. PREPARE TO RECEIVE NEW WINDOW/SILL PER ARCHITECTURAL DRAWINGS.
X21	LIGHT SWITCH TO BE RELOCATED/SHIFTED TO ACCOMMODATE NEW OPENING. REF ELEC. DRAWINGS.
X23	REMOVE EXISTING FULL HEIGHT CABINET AND SOLID SURFACE SIDESPLASH ONLY ADJACENT TO FULL HEIGHT CABINET. PROTECT EXISTING CASEWORK TO REMAIN.
X24	EXISTING WALL COVERING TO REMAIN.
X25	REMOVE EXISTING WALL COVERING THROUGHOUT CORRIDOR. PREP WALLS FOR NEW PAINT.
X26	REMOVE EXISTING RESILIENT FLOOR AND INTEGRAL COVE BASE IN ITS ENTIRETY. PREPARE FLOORS AND WALLS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X27	REMOVE EXISTING RESILIENT FLOORING AND RESILIENT COVE BASE IN ITS ENTIRETY. TERMINATE DEMOLITION AT DASHED LINE WHERE INDICATED. PREPARE FLOORS AND WALLS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X28	REMOVE EXISTING TILE WANSKOTING AND TILE FLOORING IN ITS ENTIRETY. REMOVE ALL ASSOCIATED TILE ACCESSORIES. PREPARE FLOORS AND WALLS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X29	REMOVE EXISTING CARPET TILE IN ITS ENTIRETY. REMOVE EXISTING RESILIENT COVE BASE IN ITS ENTIRETY. PREPARE FLOORS AND WALLS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X30	REMOVE ALL EXISTING FINISHES IN ITS ENTIRETY. PREPARE FLOORS AND WALLS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X31	REMOVE EXISTING CARPET WHERE INDICATED. PREPARE FLOORS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X32	REMOVE EXISTING WALL COVERING. PREP WALLS FOR NEW PAINT.
X34	REMOVE ALL EXISTING WALL COVERING IN ITS ENTIRETY.
X35	REMOVE EXISTING TILE FLOORING IN ITS ENTIRETY. REMOVE ALL ASSOCIATED TILE ACCESSORIES. PREPARE FLOORS TO RECEIVE NEW FINISHES. REFER TO INTERIOR FINISH DRAWINGS.
X36	REMOVE RESILIENT BASE IN ITS ENTIRETY.
X41	REMOVE EXISTING MED GAS ZONE VALVE BOX WALL PANEL, REF PLUMBING DRAWINGS.
X43	PROVIDE INFECTION CONTROL, PROVISIONS & DUST PROTECTION AT EXISTING ACCESS POINTS TO FLOOR.

BSA

BSA LifeStructures
12645 Olive Blvd, Suite 227
Creve Coeur, MO 63141
ph 314.754.6306 fx 314.754.4452
Architectural Registration Number - 200301309

Ross & Baruzzini

MEP ENGINEERING:
Ross & Baruzzini
6 S Old Orchard Ave
St. Louis, MO 63119
ph 314.918.8383 www.rossbar.com
Missouri State Certificate of Authority #0001948

Timberlake Engineering

A Custom Engineering Company

LIGHTING ENGINEERING:
Timberlake Engineering
912 Old Highway 63 South
Columbia, MO 65201
ph 573.875.4365 ext 209 www.customengr.com
Missouri State Certificate of Authority #000239

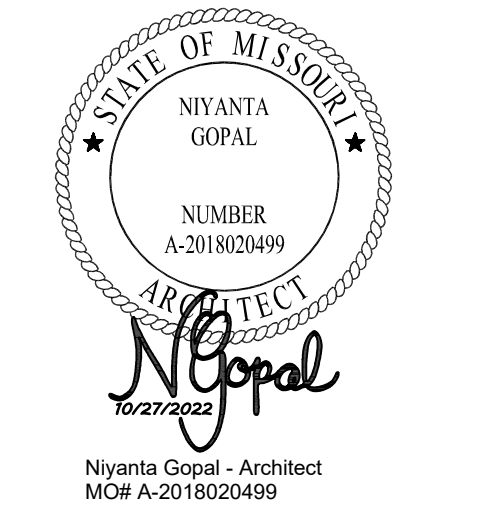
Health Care

MU PROJECT NO. - CP221944
**UNIVERSITY PHYSICIANS
MEDICAL BUILDING
(UPMB) - 4TH FLOOR -
MOA CLINIC RENOVATION**
1020 Hitt St, Columbia, MO 65212

BID SET

MARK	DATE	DESCRIPTION
B	10/27/2022	ADDENDUM 02
A	10/19/2022	ADDENDUM 01

I hereby certify these drawings and/or specifications have been prepared by me, or under my supervision, I further certify that to the best of my knowledge these drawings and/or specifications are as required by and in compliance with the Building Codes of the University of Missouri.



DEMOLITION PLAN - FOURTH FLOOR

DATE: 3 OCTOBER 2022
BSALS PROJECT NO.: 14110005

A100

10/27/2022 10:22:44 AM
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 User: Niyanta Gopal
 Status: Approved
 APPROVED: Niyanta Gopal