



FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI

ISSUED FOR BID

10/27/2021

CP220031

INTERNATIONAL ARCHITECTS ATELIER



# LEE HILLS HALL - RENOVATE SPACES FOR NOVAK LEADERSHIP INSTITUTE

I HEREBY CERTIFY THAT DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS AND/OR SPECIFICATIONS ARE AS REQUIRED BY AND IN COMPLIANCE WITH BUILDING CODES OF THE UNIVERSITY OF MISSOURI.



MAJID AMIRAHMADI, AIA

10-27-2021



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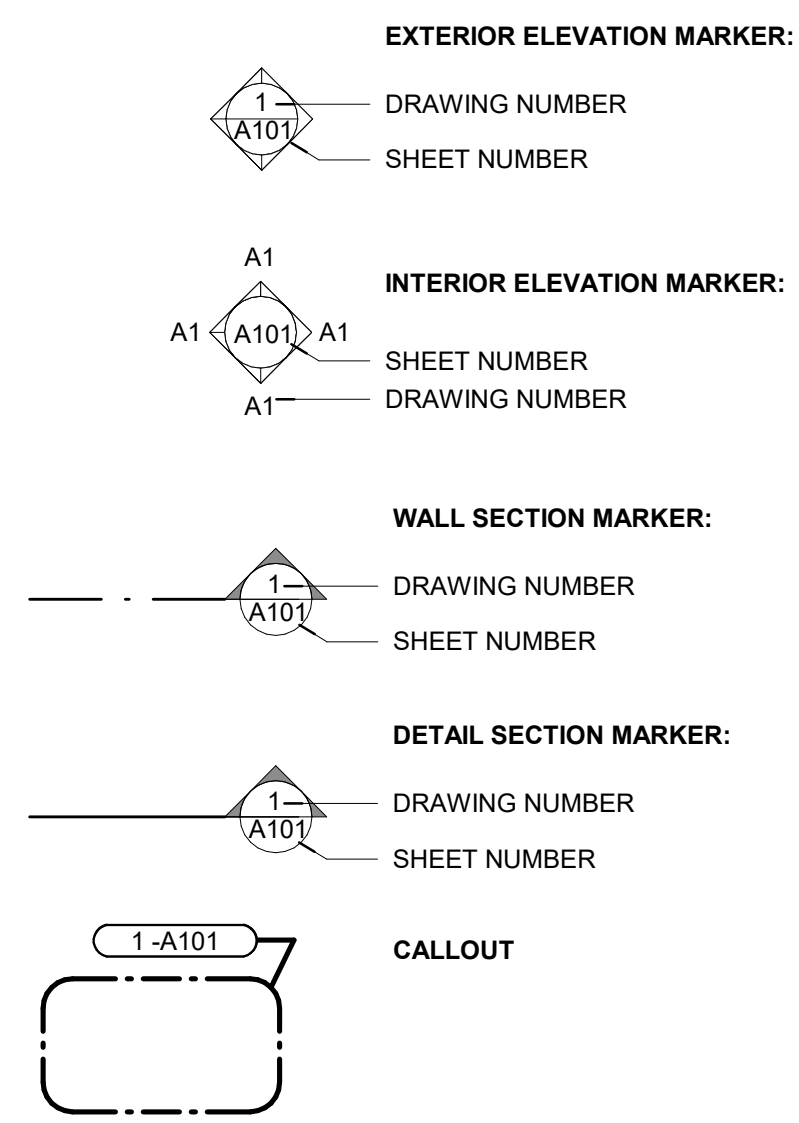
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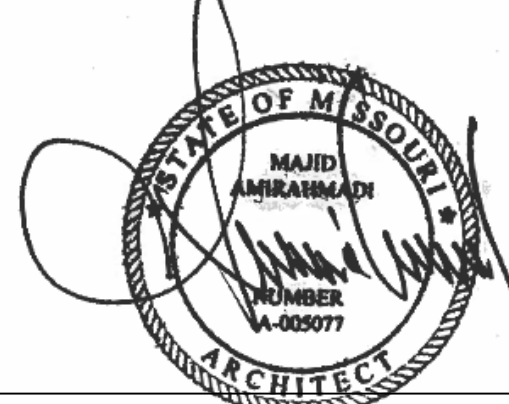


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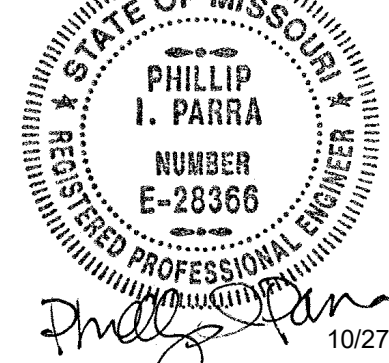
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MAJID AMIRAHMADI, AIA  
INTERNATIONAL ARCHITECTS ATELIER 10-27-2021

PROFESSIONAL DISCLAIMER | S29

I, PHILLIP I. PARRA, MISSOURI REGISTERED ENGINEER, DO HEREBY ACCEPT PROFESSIONAL RESPONSIBILITY FOR THE ATTACHED MECHANICAL, ELECTRICAL, AND FIRE PROTECTION DRAWINGS. I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS INCLUDED IN THIS SET OF CONSTRUCTION DOCUMENTS, THEY BEING THE RESPONSIBILITY OF OTHER PROFESSIONALS.



PHILLIP I. PARRA, PE  
IMEG 10/27/2021

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**ADDITIVE ALTERNATE #1:**

CORRIDOR DISPLAY UNIT

RELOCATE EXISTING WOOD DOORS AND HM FRAME AT OFFICES 203 & 204 TO INSTALL NEW DISPLAY UNIT IN CORRIDOR. EXTEND PORCELAIN TILE FLOOR FINISH AND GYPSUM BOARD CEILING FINISH TO ALIGN WITH DISPLAY UNIT.

**ADDITIVE ALTERNATE #2:**

SEMINAR 202 WALL BASE FINISHES

REMOVE EXISTING WOOD CHAIR RAIL AND WOOD WINDOW SILLS. INSTALL NEW 3/4" WOOD VENEER MDF PANELS AT BASE OF WALLS WHERE NOTIFIED ON THE PLANS AND INTERIOR ELEVATIONS IN LIEU OF BASE BID PLASTIC LAMINATE. INSTALL NEW SOLID SURFACE CHAIR RAIL AND WINDOW SILLS.

ALTERNATES | S15

- ALL WORK SHALL COMPLY WITH FEDERALLY MANDATED ADA, ALL APPLICABLE CODES, AND STANDARDS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND DRAWINGS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION. ALL DIMENSIONS OF EXISTING CONSTRUCTION ARE TO PROVIDE THE CONTRACTOR WITH APPROXIMATE SIZES AND ARE NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL USE EXTREME CARE AND TAKE PRECAUTION DURING CONSTRUCTION SO AS NOT TO DAMAGE EXISTING ADJACENT FACILITIES. ANY DAMAGE DONE TO EXISTING FACILITIES DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER.
- ALL DIMENSIONS ARE NOMINAL AND ARE FINISH TO FINISH OR FACE TO FACE OF CONSTRUCTION UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, CONTRACTOR SHALL PATCH OR REPAIR, PAINT OR RESTORE AND REFINISH (AS APPLIES) ALL ADJACENT SURFACES AFFECTED BY NEW CONSTRUCTION OR DEMOLITION.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS. COORDINATE DUMPSTER LOCATION AND ACCESS WITH THE OWNER AS REQUIRED.
- SHOULD ANY DOUBT OR QUESTION ARISE WITH RESPECT TO THE TRUE MEANING OF THE DRAWINGS OR SPECIFICATIONS, REFERENCE SHALL BE MADE TO THE ARCHITECT WHOSE DECISIONS THEREON SHALL BE FINAL AND CONCLUSIVE.
- CONTRACTOR SHALL NOT ENGAGE IN ANY ACTIVITY WHICH MAY ENDANGER THE PUBLIC.
- CONTRACTOR IS REQUIRED, PRIOR TO THE START OF CONSTRUCTION, TO SURVEY THE AREAS WHICH WOULD BE AFFECTED BY THE CONSTRUCTION FOR DOCUMENTATION OF EXISTING DAMAGES.
- CONTRACTOR IS ALLOWED TO STORE MATERIALS ONLY IN DESIGNATED LOCATIONS AS APPROVED BY THE OWNER REPRESENTATIVE.
- CONTRACTOR IS REQUIRED TO PROVIDE EQUIPMENT AND TOOLS REQUIRED OR NECESSARY FOR THE OWNER, ARCHITECT, AND ENGINEER TO REVIEW THE CONSTRUCTION IN PROGRESS AND DURING INSPECTIONS.
- CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTS DURING THE CONSTRUCTION OF THE PROJECT AS REQUIRED FOR THE SAFETY AND SECURITY OF THE PUBLIC FOR ALL AREAS AFFECTED BY CONSTRUCTION AS REQUIRED TO ACHIEVE MIN 1/2 FOOT CANDLE LIGHT LEVEL.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND PROTECT THE REQUIRED FIRE EXITS AND ROUTE TO THOSE EXITS AT ALL TIMES.
- THE BUILDING WILL BE OCCUPIED DURING THE CONSTRUCTION PERIOD AND ANY DISRUPTION TO NORMAL BUILDING OPERATIONS SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEANING OF ALL SPACES AFFECTED BY CONSTRUCTION. CLEANING MUST BE COMPLETED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.

GENERAL NOTES | P1

**DEFERRED SUBMITTAL ITEMS:**

WET-PIPE SPRINKLER SYSTEMS RE: 211313

**SPECIAL INSPECTIONS**

THERE ARE NO SPECIAL INSPECTIONS FOR THIS PROJECT.

DEFERRED SUBMITTALS AND SPECIAL INSPECTIONS | L1



STAGING PLAN | B15



VICINITY MAP | B1



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MISSOURI STATE CERTIFICATE OF AUTHORITY #000582

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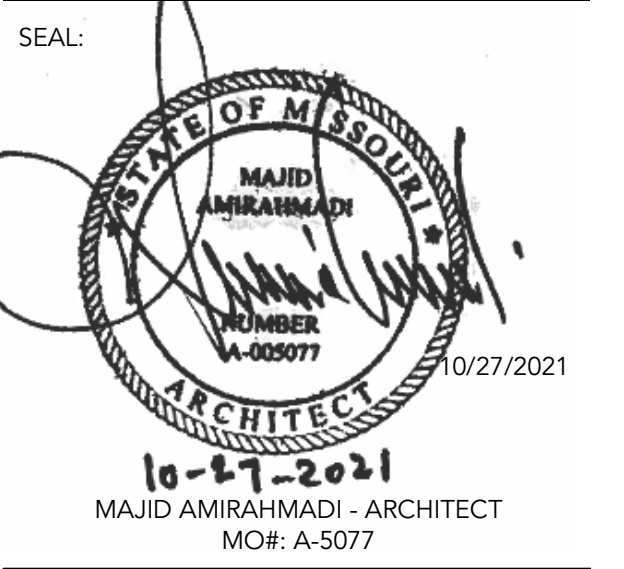
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ISSUED FOR BID

221 S 8th St  
Columbia, MO 65201

DATE: 10/27/2021  
PROJ. NO.: CP220031  
DESIGNED BY: AO, JL  
DRAWN BY: AO, JL  
CHECKED BY: JL, MA  
APPROVED BY: MA



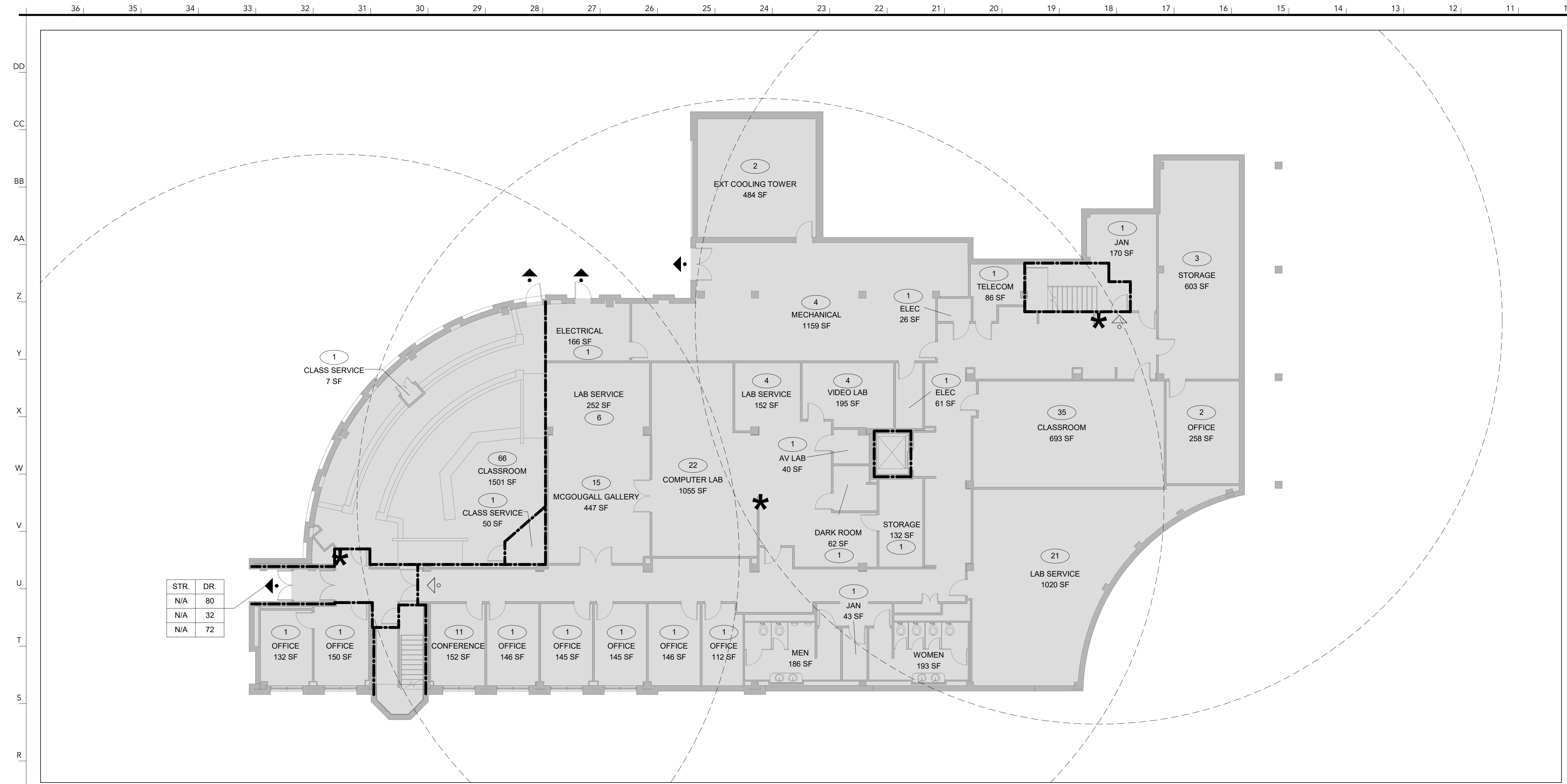
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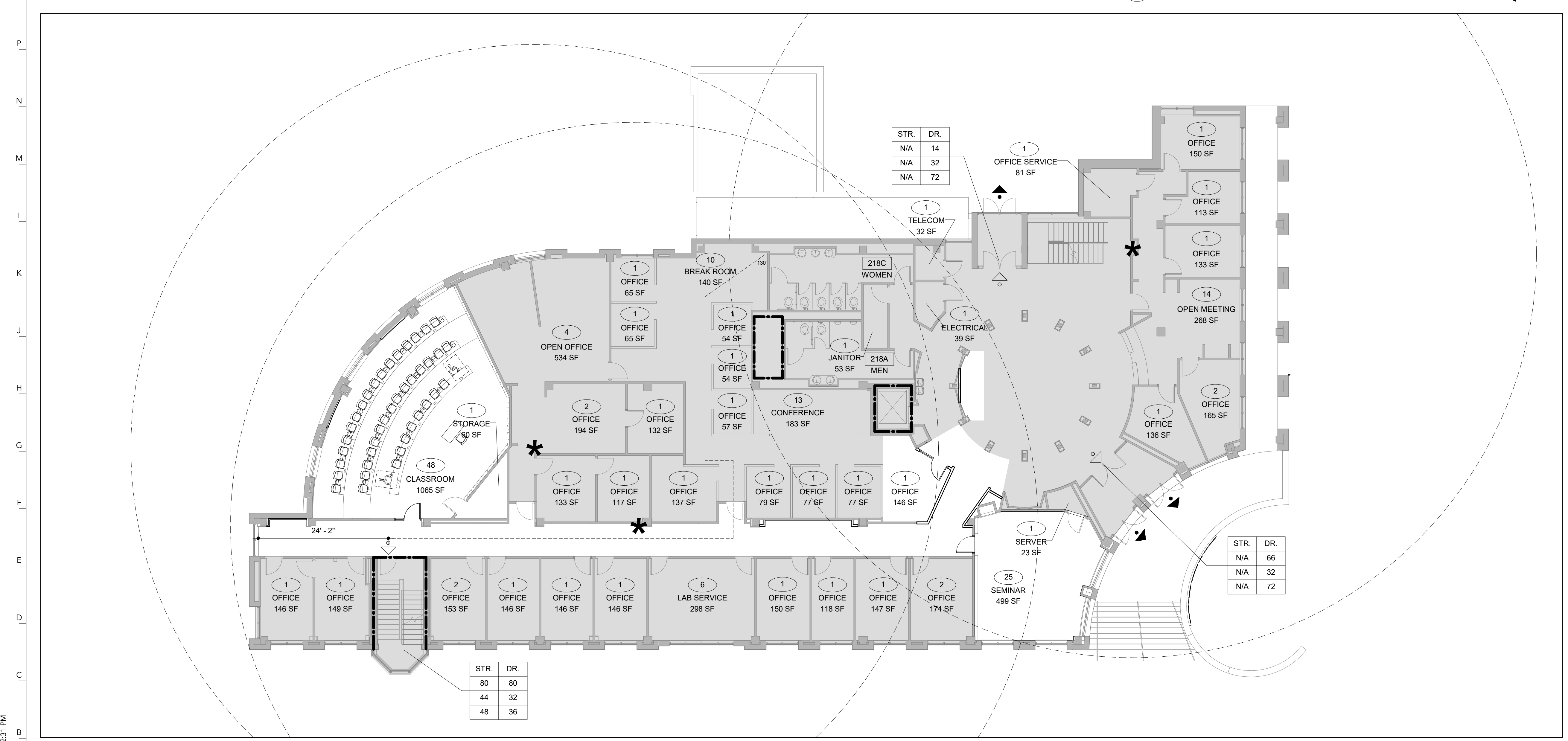
**GENERAL INFORMATION**

G001





1 1ST FLOOR LIFE SAFETY PLAN Q10  
SCALE: 3/32" = 1'-0"



1 2ND FLOOR LIFE SAFETY PLAN B10  
SCALE: 3/32" = 1'-0"

(X)	OCCUPANTS PER ROOM	---	NOT IN CONTRACT
STR. DR.	STR. = STAIR WIDTH / DR. = DOOR WIDTH	---	EGRESS TRAVEL PATH
'X' 'X'	OCCUPANCY	---	INDICATES 1-HOUR FIRE RESISTIVE CONSTRUCTION
'X' 'X'	REQUIRED EXIT WIDTH (INCHES)	---	
'X' 'X'	PROVIDED EXIT WIDTH (INCHES)	---	
△	INDICATES POINT OF EGRESS ACCESS		
▲	INDICATES POINT OF EGRESS DISCHARGE		
*	INDICATES LOCATION OF FIRE EXTINGUISHER CABINET		

LIFE SAFETY LEGEND | AA1

Applicable Codes:	2018 International Building Code (IBC) 2018 International Plumbing Code (IPC) 2018 International Mechanical Code (IMC) 2018 International Existing Building Code 2018 International Fire Code 2017 National Electric Code (NFPA 70 NEC) 2016 Standard for Emergency and Standby Power Systems (NFPA 110) 2018 Installation of Air Conditioning and Ventilating Systems (NFPA 90A) 2016 National Fire Alarm Code (NFPA 72) 2016 Installation of Fire Sprinkler Systems (NFPA 13) 2016 Energy Standard for Buildings (ASHRAE 90.1) 2012 Life Safety Code (NFPA 101) 2010 Americans with Disabilities Act - Standards for Accessible Design (ADA)
Occupancy:	A-3: Lecture Halls B: Offices, Classroom and Conference Rooms
Type of Construction:	Type II-B
Building Stories:	3 stories above grade plane
Allowable Stories:	3 stories above grade plane (IBC Table 504.4)
Building Height:	61'-0" to top of occupied structure above grade plane 71'-4" to top of spire above grade plane
Allowable Building Height:	75'-0" above grade plane (IBC Table 504.3)
Building Area:	Level 1 - Approx. 13,710 gross square feet Level 2 - Approx. 12,777 gross square feet Level 3 - Approx. 12,640 gross square feet Total Building Area - 39,127 gross square feet
Allowable Area (per story):	28,500 gross square feet (IBC Table 506.2)
Mixed Use Group Approach:	Separated (IBC 508.4)
Passive Fire Resistive Requirements:	0-hour (IBC Table 601) -Exterior Bearing Walls -Interior Bearing Walls -Exterior Non-Bearing Walls -Structural Frame -Floors -Roof -Shafts (3 stories or less) -Exit Stair Enclosures -Corridors
Interior Finishes (IBC Table 803.13):	Exit Stairs: Class B Corridors: Class C Rooms and Enclosed Spaces: Class C
Active Fire Protection:	Automatic Sprinkler System Standpipes Fire Extinguishers Fire Alarm System
Emergency Power:	Exit Signs Emergency Lighting
Egress:	Exit Widths -Doors -Stairs -Corridors Common Path of Egress Travel
Exit Access Travel Distance:	A-3: 250 feet (IBC Table 1017.2) B: 300 feet (IBC Table 1017.2)
Dead End Corridors:	B: 50 feet (IBC 1020.4, Exception #2)
Number of Exits Required from Spaces:	2 exits from each space when > 49 occupants or common path of travel exceeds 100 feet (IBC Table 1006.2.1)
Number of Exits Required from Stories:	2 exits required (IBC 1006.3) 1-500 Occupant Load Per Story
Exit Separation:	Separated by one-third the maximum overall diagonal dimension of the building (IBC 1007.1.1)

LIFE SAFETY / CODE ANALYSIS | F1

<b>2ND FLOOR - OCCUPANCY B</b>			
<b>OCCUPANCY B - 155 OCCUPANTS</b>	<b>WATER CLOSETS / URINALS</b>	<b>LAVATORIES</b>	<b>DRINKING FOUNTAINS</b>
78 MEN / 77 WOMEN	2.56 MEN (1 ADA) / 2.54 WOMEN (1 ADA)	1.95 MEN / 1.925 WOMEN	1.55
REQUIRED			
<b>OCCUPANCY S - 5 OCCUPANTS</b>			
3 MEN / 2 WOMEN	0.03 MEN / 0.02 WOMEN	0.03 MEN / 0.02 WOMEN	0.005
REQUIRED			
<b>TOTAL REQUIRED</b>	<b>3 MEN (1 ADA) / 3 WOMEN (1 ADA)</b>	<b>2 MEN / 2 WOMEN</b>	<b>2</b>
<b>PROVIDED (EXISTING)</b>	<b>4 MEN (1 ADA) / 5 WOMEN (1 ADA)</b>	<b>2 MEN / 3 WOMEN</b>	<b>2</b>

PLUMBING FIXTURE COUNTS | B1

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SEAL:  
MAJID AMIRAHMADI - ARCHITECT  
MO# A-5077  
10/27/2021

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LIFE SAFETY PLAN /  
CODE ANALYSIS

G002





- NOT IN CONTRACT
- EXISTING WALLS
- ALL WORK ASSOCIATED WITH THIS AREA SHALL BE COMPLETED AND AREA CLEARED AND RESTORED TO OWNER'S SATISFACTION BETWEEN THE DATES OF 12/18/2021 - 01/17/2022. REFER TO SPECIAL CONDITIONS OF THE CONTRACT.
- ALL WORK ASSOCIATED WITH THIS AREA PERMITTED TO BE COMPLETED AND AREA CLEARED AND RESTORED TO OWNER'S SATISFACTION AFTER 01/17/2022. REFER TO SPECIAL CONDITIONS OF THE CONTRACT. CONTRACTOR TO TRANSPORT NEW OR DEMOLISHED MATERIAL BEFORE 8 AM OR AFTER 5 PM AFTER 01/17/2022 TO NOT INTERRUPT BUILDING OPERATION.
- PATH FOR DEMOLITION DEBRIS REMOVAL. CONTRACTOR SHALL PROTECT ALL FLOORING AND ALL EXISTING ADJACENT FINISHES ALONG PATH TO DUMPSTER.

- CONSTRUCTION PLAN NOTES:**
1. REFER TO G001 FOR GENERAL NOTES AND DEMOLITION NOTES.
  2. MAINTAIN MINIMUM 3' - 8" EGRESS WIDTH PER IBC 2018, TYPICAL.
  3. OWNER WILL REMOVE FURNITURE WITHIN CONSTRUCTION LIMITS PRIOR TO THE START OF CONSTRUCTION. COORDINATE WITH THE OWNER'S REPRESENTATIVE IF ADDITIONAL FURNITURE MUST BE RELOCATED.
  4. THE ADJACENT ROOMS AND SPACES WILL BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL TAKE PRECAUTION TO MINIMIZE NOISE, DUST, AND ANY OTHER DISRUPTIONS. COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO ANY ACTIVITIES THAT MAY DISRUPT OCCUPANTS. (RE: GENERAL NOTE #14 | G001).
  5. SECURITY AND MONITORING OF CONSTRUCTION ZONE IS FULL RESPONSIBILITY OF CONTRACTOR.
  6. PROTECT EXISTING FLOORING IN AREAS NOT DESIGNATED FOR FLOORING REPLACEMENT. CONTRACTOR MUST REPLACE ANY FLOORING DAMAGED DURING CONSTRUCTION. RE: A100



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**CONSTRUCTION  
 PHASING PLAN**

**G003**





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APPROVED BY: MA

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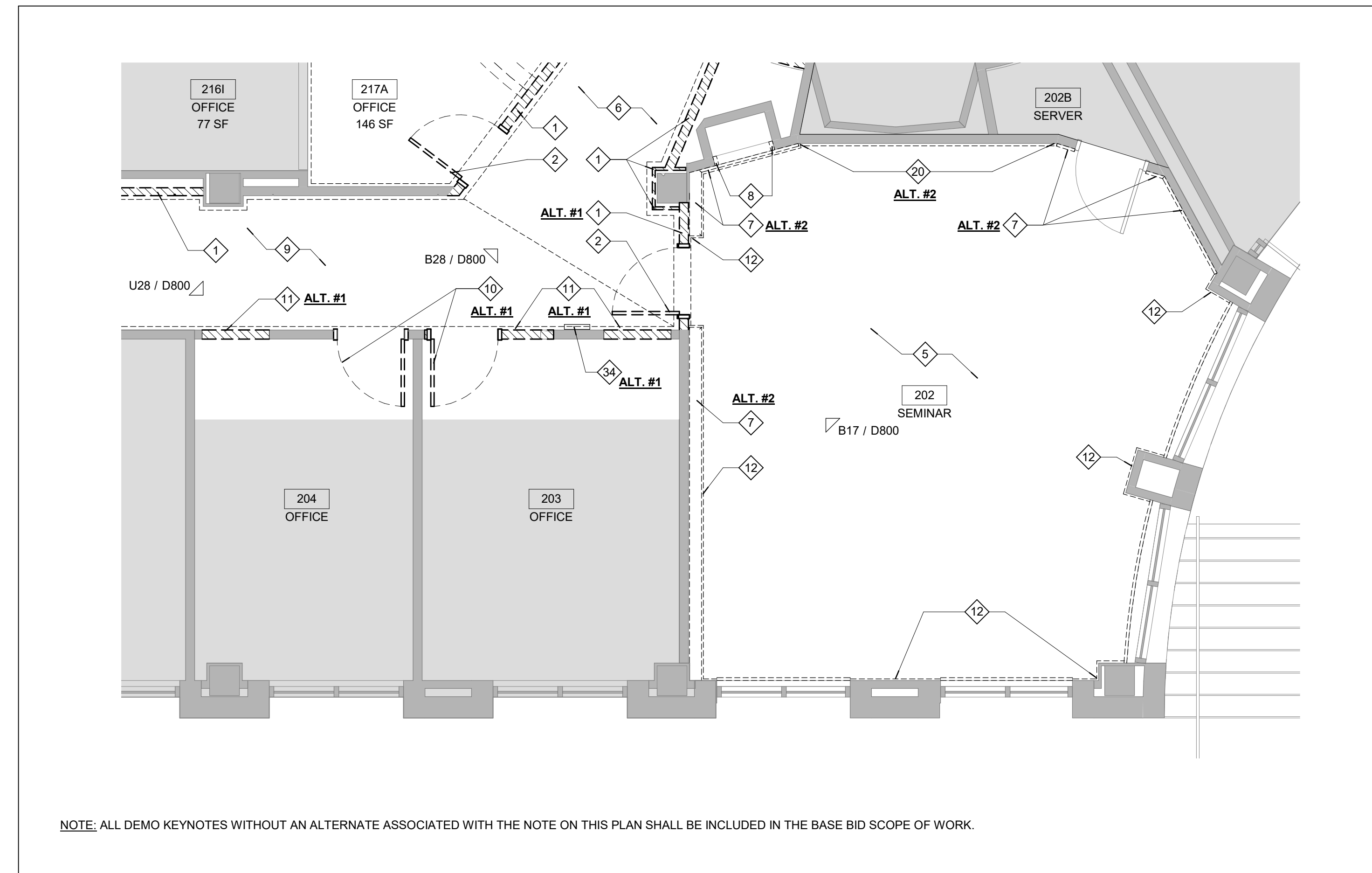
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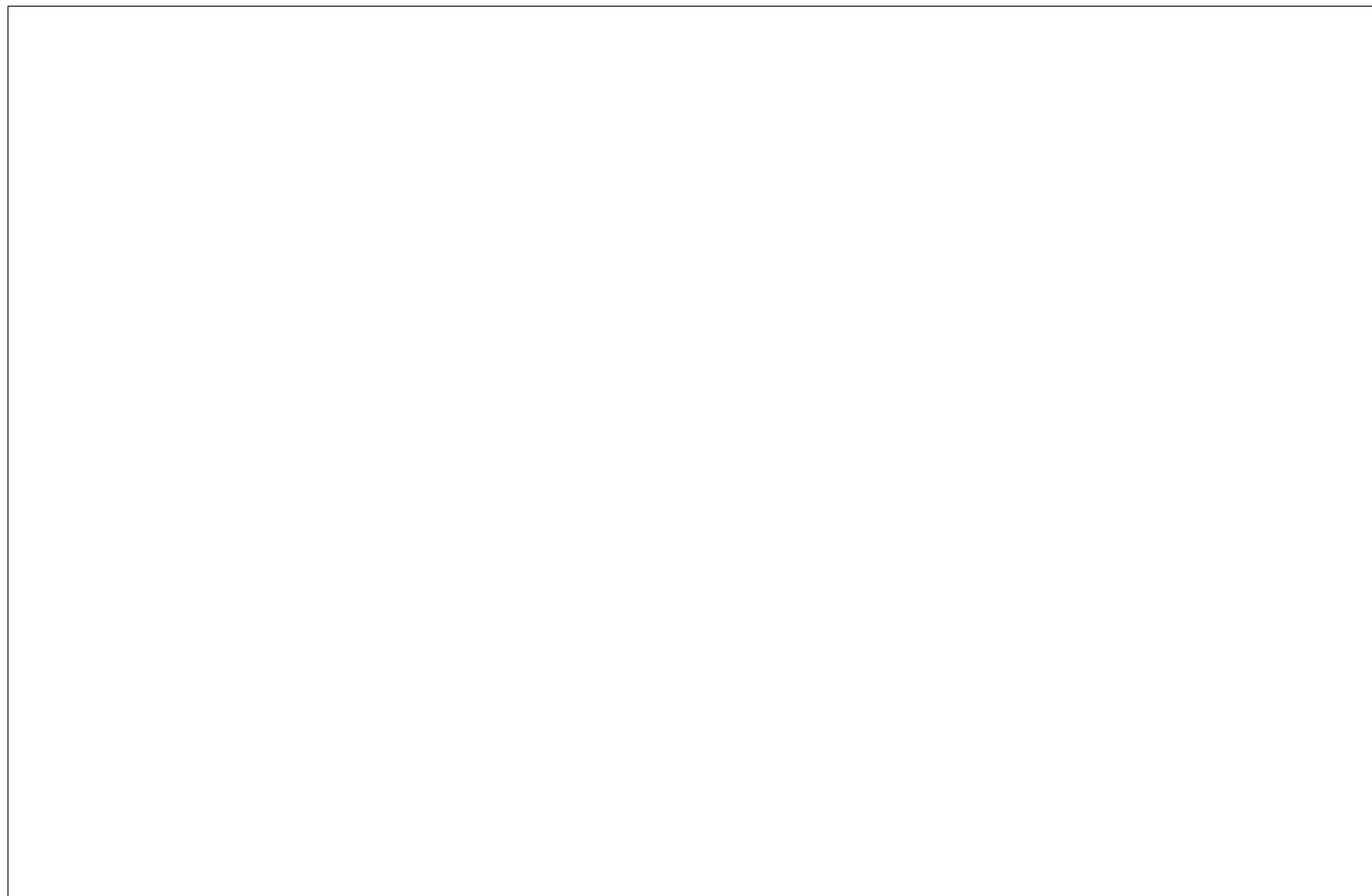
2ND FLOOR DEMOLITION PLAN

D100

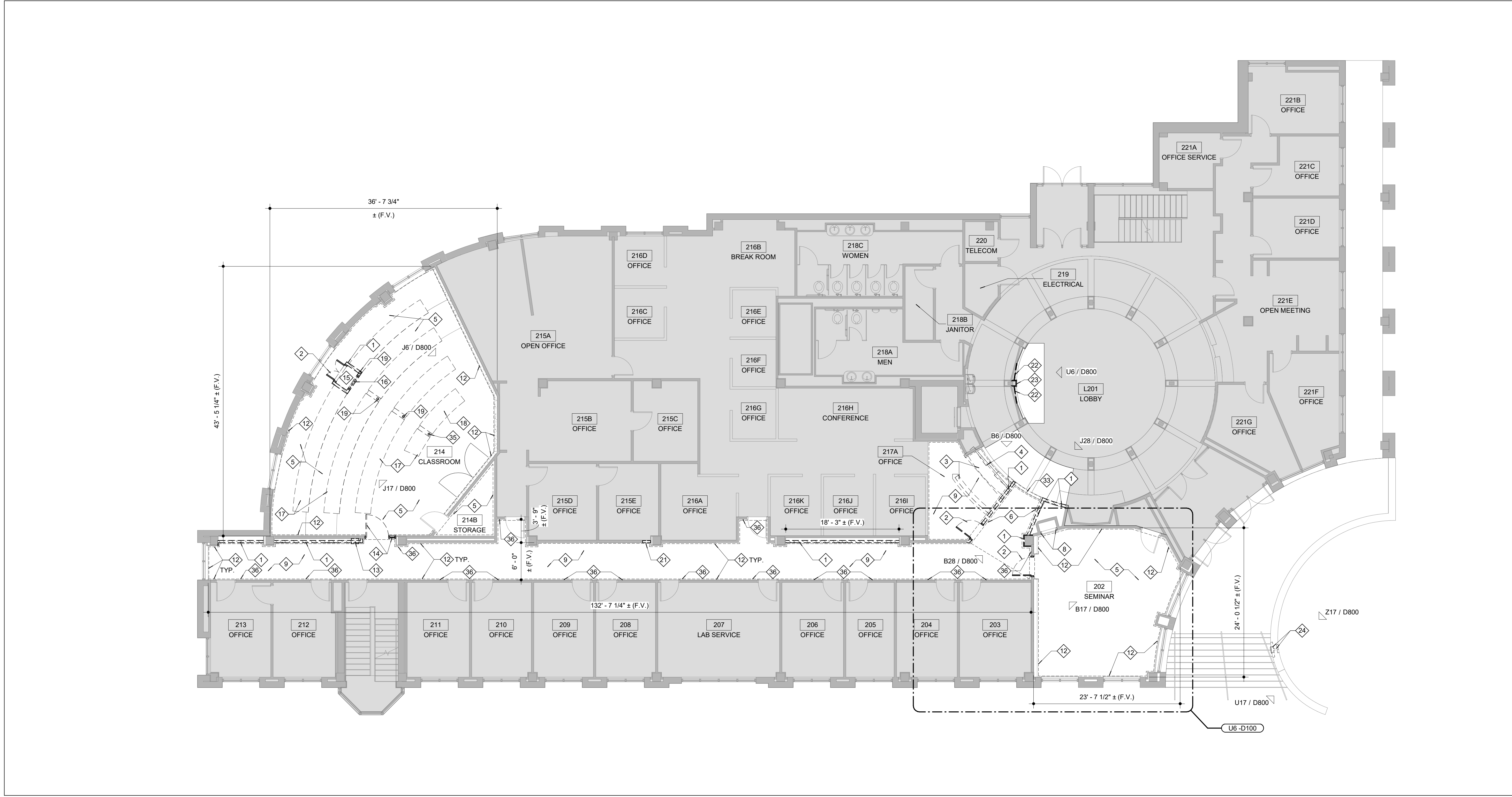
- INDICATES AREAS OF BUILDING NOT IN CONTRACT
- INDICATES EXISTING BUILDING ELEMENTS TO REMAIN
- INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
- REMOVE EXISTING PARTITION, INCLUDING BASE, ELECTRICAL / FA DEVICES, RECEPTACLES, CONDUIT, ETC. TO EXTENTS SHOWN ON PLAN. PATCH ADJACENT EXISTING FLOOR, CEILING, AND WALL SURFACES TO REMAIN. SALVAGE EXISTING FABRIC WRAPPED PANEL AND WOOD BASE/CORNER AS REQUIRED TO REINSTALL AT NEW LOCATION.
  - REMOVE EXISTING DOOR, FRAME, DOOR STOPS, AND ASSOCIATED FRAME ANCHORAGE MATERIALS.
  - REMOVE EXISTING DESK CASEWORK AND ALL ASSOCIATED COMPONENTS INCLUDING COUNTERTOP, BASE CABINETS, BRACKET SUPPORTS, ETC.
  - REMOVE EXISTING OVERHEAD COILING COUNTER DOOR AND ALL ASSOCIATED HARDWARE.
  - REMOVE EXISTING CARPET FLOORING, MASTIC, FLOORING TRANSITIONS, ETC. TO CONCRETE FLOOR. PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FINISHES PER MANUFACTURER'S SPECIFIED RECOMMENDATIONS.
  - REMOVE EXISTING SLATE TILE FLOORING, GROUT AND SETTING MORTAR TO CONCRETE FLOOR. PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FINISHES PER MANUFACTURER'S SPECIFIED RECOMMENDATIONS.
  - REMOVE EXISTING WOOD CHAIR RAIL AND ALL ASSOCIATED FASTENERS. PREPARE WALL SURFACES TO RECEIVE NEW FINISHES. ALTERNATE #2.
  - REMOVE EXISTING METAL FRAME AROUND OPENING AND ALL ASSOCIATED FINISHES, STANDARDS, AND FASTENERS WITHIN PATCH ADJACENT WALL SURFACES TO REMAIN AND PREPARE OPENING TO RECEIVE NEW FINISHES.
  - REMOVE EXISTING RESILIENT FLOORING, MASTICS, ETC. TO CONCRETE SLAB. PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FINISHES PER MANUFACTURER'S SPECIFIED RECOMMENDATIONS.
  - REMOVE AND SALVAGE EXISTING DOOR, FRAME, HARDWARE, AND ASSOCIATED ANCHORAGE TO BE REINSTALLED AT NEW LOCATION. REMOVE EXISTING VERTICAL CONTROL JOINTS AND PATCH GYPSUM BOARD SURFACES TO MATCH ADJACENT. ALTERNATE #1.
  - REMOVE PORTION OF EXISTING PARTITION, INCLUDING BASE AND METAL FRAMING FOR INSTALLATION OF SALVAGED WOOD DOOR AND METAL FRAME AND WALL DISPLAY UNITS. PROVIDE ADDITIONAL WALL AND OPENING FRAMING AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. ALTERNATE #1.
  - REMOVE EXISTING RUBBER BASE AND ALL ASSOCIATED ADHESIVES BACK TO EXISTING GYPSUM BOARD WALL SURFACE. PREPARE SURFACES TO RECEIVE NEW WALL BASE.
  - REMOVE EXISTING RECESSED FIRE EXTINGUISHER CABINET AND ALL ASSOCIATED HARDWARE AND FASTENERS. SALVAGE FIRE EXTINGUISHER TO BE REINSTALLED WITHIN NEW EXTINGUISHER CABINET LOCATION.
  - REMOVE EXISTING STOREFRONT INCLUDING WOOD DOOR AND GLASS SIDELITE. DOOR LOCK, BATTERY KEYPAD, LATCH AND STRIKE PLATE TO BE SALVAGED FOR REINSTALLATION IN NEW DOOR. PREPARE OPENING TO RECEIVE NEW STOREFRONT ASSEMBLY.
  - REMOVE EXISTING CONTROL BOOTH EQUIPMENT AND WIRING. COORDINATE REMOVAL / SALVAGE OF ALL ELECTRONIC DEVICES, AND TERMINATION OF ALL EXISTING LOW-VOLTAGE WIRING WITH IT DEPARTMENT.
  - REMOVE EXISTING WINDOW GLAZING, FRAME, AND ALL ASSOCIATED BLINDS & HARDWARE.
  - REMOVE ALL FIXED TABLES AND HALF HEIGHT PARTITION WALLS, INCLUDING ALL HARDWARE, FASTENERS, MODESTY PANELS, AND SUPPORTS. TYP.
  - REMOVE EXISTING MILLWORK LECTURN. COORDINATE REMOVAL / SALVAGE OF ALL ELECTRONIC DEVICES, AND TERMINATION OF ALL EXISTING LOW-VOLTAGE WIRING WITH IT DEPARTMENT / VENDOR.
  - APPROXIMATE LOCATION OF EXISTING POKE-THROUGH POWER FEEDS. REMOVE FURNITURE-MOUNTED RECEPTACLES, CONDUIT, HARDWARE, ETC. SELECTIVELY CHISEL TOP OF EXISTING CONCRETE FLOORING AS REQUIRED TO ROUTE CONDUIT FROM EXISTING POKE-THROUGH LOCATION TO LOCATION OF NEW FIXED FURNITURE LEG. RE: ELECTRICAL DRAWINGS AND SHEET A302 FOR MORE INFORMATION AND RELOCATION NOTES.
  - REMOVE EXISTING ACOUSTIC FABRIC WRAPPED PANEL ABOVE EXISTING MARKER BOARD AND ALL ASSOCIATED FASTENERS. ALTERNATE #2.
  - REMOVE PORTION OF WALL PARTITION FINISH FOR INSTALLATION OF NEW FIRE EXTINGUISHER CABINET. REVISE EXISTING STUD FRAMING AND ADD ADDITIONAL FRAMING AS REQUIRED.
  - REMOVE BOTTOM EXISTING VENEER WOOD PANEL (2 TOTAL PANELS) AND ALL ASSOCIATED WOOD FURNING STRIPS AND 1-5/8" METAL STUDS. PROVIDE TEMPORARY SUPPORTS TO EXISTING WOOD PANELS ABOVE AS REQUIRED UNTIL NEW CONSTRUCTION IS INSTALLED.
  - REMOVE PORTION OF EXISTING GYPSUM FABRICATION COLUMN COVER AND ASSOCIATED GRANITE BASE UP TO HEIGHT REQUIRED TO ALIGN WITH NEW CONSTRUCTION. PATCH ADJACENT EXISTING FLOOR AND WALL SURFACES TO REMAIN.
  - REMOVE AND SALVAGE EXTERIOR LIGHT FIXTURE FOR ACCESS TO EXTERIOR POWER. REMOVE AND SALVAGE PORTION OF FLOOR AT BOTH SIDES OF RETAINING WALL FOR INSTALLATION OF NEW RECESSED POWER BOX AND CONDUIT. CORE DRILL CONCRETE RETAINING WALL STRUCTURE AS REQUIRED. RE: ELECTRICAL FOR MORE INFORMATION FOR SIGNAGE POWER.
  - REMOVE EXISTING ACOUSTICAL CEILING TILE, GRID, AND ASSOCIATED HARDWARE AND SUSPENSION SYSTEM. PATCH ADJACENT WALL SMOOTH WHERE PERIMETER ANGLE SUPPORTS ARE REMOVED.
  - REMOVE EXISTING GYPSUM BOARD CEILING, BULKHEAD AND ASSOCIATED FRAMING & SUSPENSION SYSTEM. PATCH ADJACENT SURFACES SMOOTH WHERE PERIMETER OF CEILING SUPPORTS ARE REMOVED.
  - REMOVE EXISTING LIGHT FIXTURE AND ASSOCIATED SUPPORTS. RE: ELECTRICAL.
  - REMOVE AND SALVAGE EXISTING AIR GRILLES AND TRIM FOR REINSTALLATION. RE: MECHANICAL.
  - EXISTING PROJECTOR TO BE REMOVED AND NEW PROJECTOR INSTALLED AT SAME LOCATION BY OWNER. EXISTING PROJECTION SCREEN TO REMAIN.
  - REMOVE AND SALVAGE EXISTING SPEAKERS FOR REINSTALLATION.
  - REMOVE AND SALVAGE EXISTING CEILING MOUNTED EXIT SIGN FOR INSTALLATION AT NEW LOCATION. RE: ELECTRICAL.
  - REMOVE EXISTING ACOUSTICAL CEILING TILE IN CLASSROOM 214. EXISTING GRID AND SUSPENSION SYSTEM TO REMAIN. PREPARE GRID TO RECEIVE NEW FIXTURES AND CEILING TILE.
  - REMOVE AND SALVAGE EXISTING GRANITE TILE BAND FOR REINSTALLATION AT NEW LOCATION.
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  - REMOVE AND SALVAGE EXISTING ROOM SIGNAGE TO BE REINSTALLED AFTER CONSTRUCTION IS COMPLETE.



ENLARGED DEMOLITION PLAN - ALTERNATES U6



SCALE: 1/4" = 1'-0"



2ND FLOOR DEMOLITION PLAN B6

SCALE: 1/8" = 1'-0"

DEMO NOTES B1





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FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI

LEE HILLS HALL - RENOVATE SPACES FOR NOVAK LEADERSHIP INSTITUTE

THE UNIVERSITY OF MISSOURI

ISSUED FOR BID

221 S 8th St  
Columbia, MO 65201

DATE: 10/27/2021

PROJ. NO.: CP220031

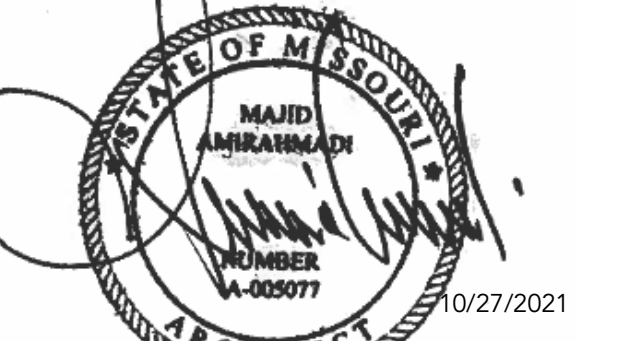
DESIGNED BY: AO, JL

DRAWN BY: AO, JL

CHECKED BY: JL, MA

APPROVED BY: MA

SEAL:



10/27/2021

10-27-2021

MAJID AMIRAHMADI - ARCHITECT

MO#: A-5077

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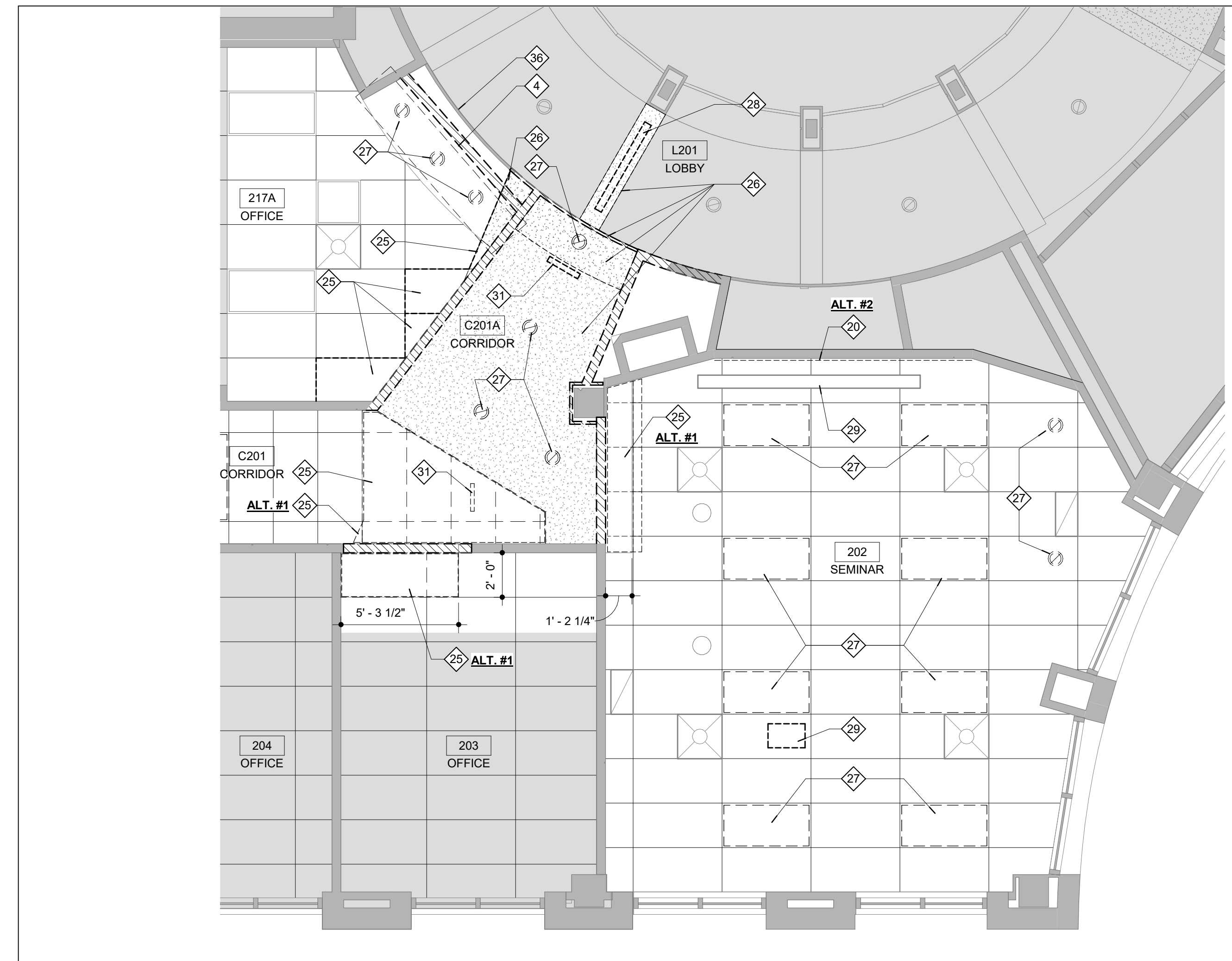
NO. REVISION SUBMISSION DATE

0 ISSUED FOR BID 10/27/2021

REFLECTED CEILING DEMOLITION PLAN

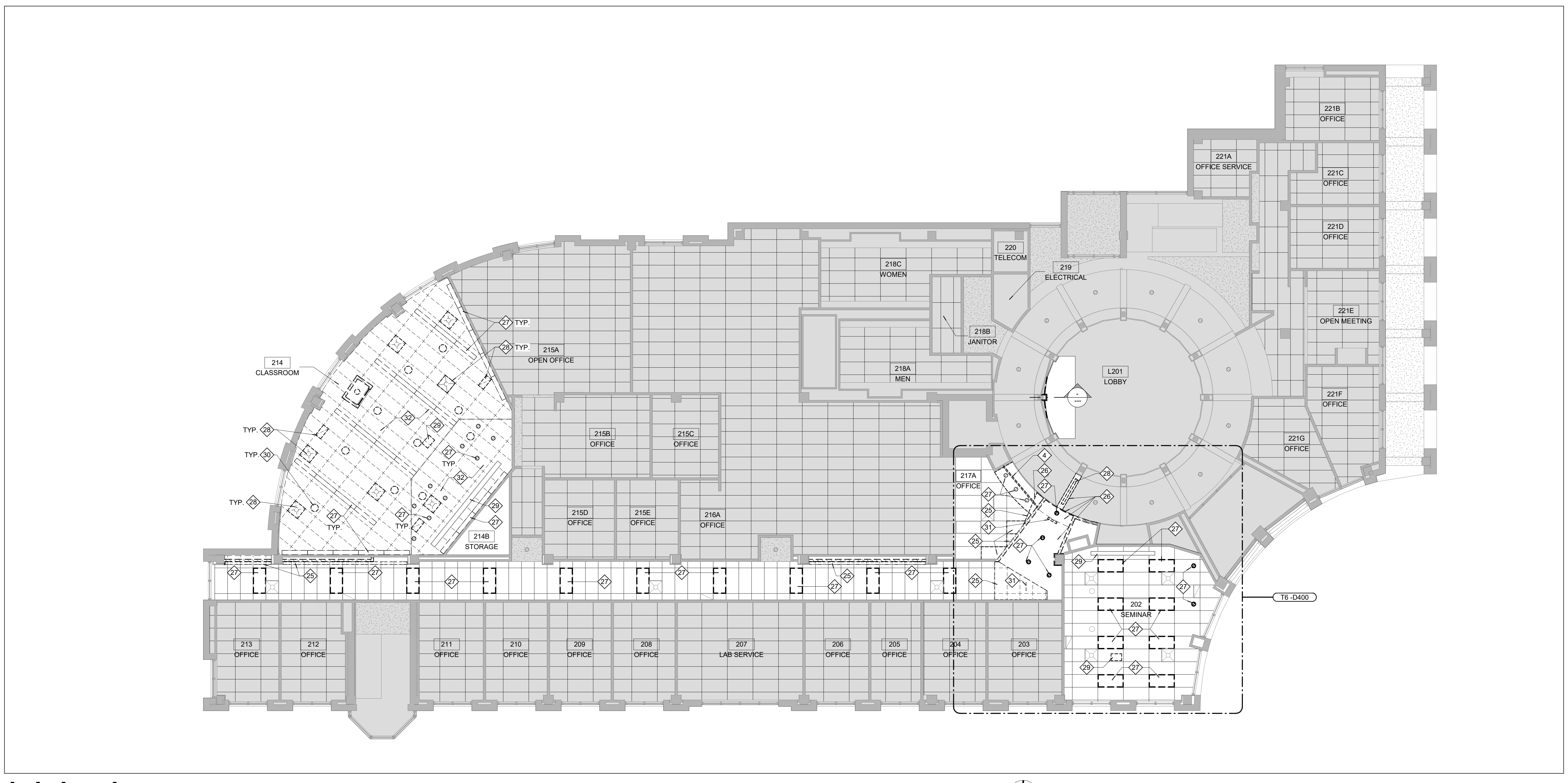
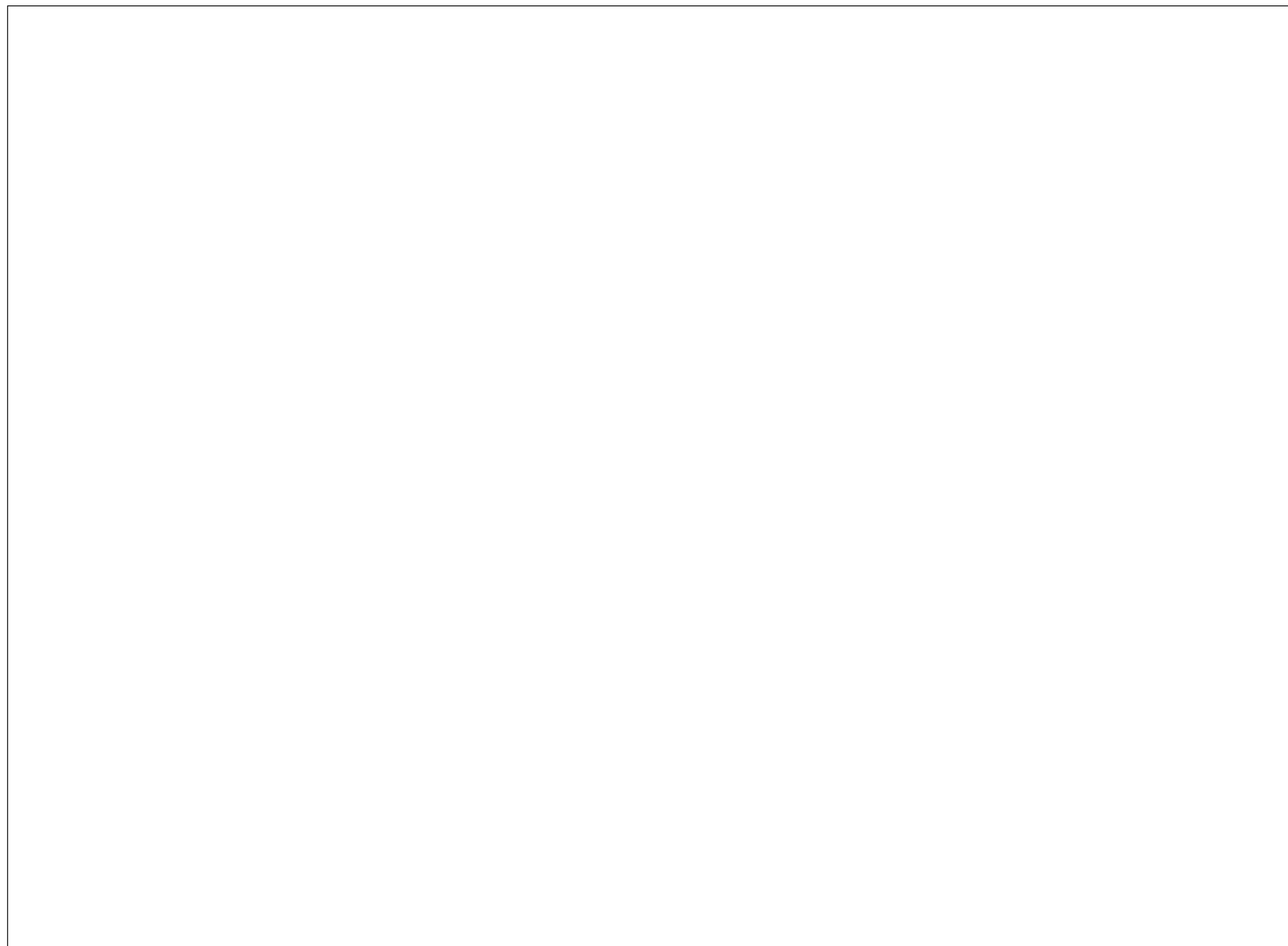
D400

- INDICATES AREAS OF BUILDING NOT IN CONTRACT
- INDICATES EXISTING BUILDING ELEMENTS TO REMAIN
- INDICATES EXISTING BUILDING ELEMENTS TO BE DEMOLISHED
- REMOVE EXISTING PARTITION, INCLUDING BASE, ELECTRICAL / FA DEVICES, RECEPTACLES, CONDUIT, ETC. TO EXTENTS SHOWN ON PLAN. PATCH ADJACENT EXISTING FLOOR, CEILING, AND WALL SURFACES TO REMAIN. SALVAGE EXISTING FABRIC WRAPPED PANEL AND WOOD BASE/CORNER AS REQUIRED TO REINSTALL AT NEW LOCATION.
- REMOVE EXISTING DOOR, FRAME, DOOR STOPS, AND ASSOCIATED FRAME ANCHORAGE MATERIALS.
- REMOVE EXISTING DESK CASEWORK AND ALL ASSOCIATED COMPONENTS INCLUDING COUNTERTOP, BASE CABINETS, BRACKET SUPPORTS, ETC.
- REMOVE EXISTING OVERHEAD COILING COUNTER DOOR AND ALL ASSOCIATED HARDWARE.
- REMOVE EXISTING CARPET FLOORING, MASTIC, FLOORING TRANSITIONS, ETC. TO CONCRETE FLOOR. PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FINISHES PER MANUFACTURER'S SPECIFIED RECOMMENDATIONS.
- REMOVE EXISTING SLATE TILE FLOORING, GROUT AND SETTING MORTAR TO CONCRETE FLOOR. PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FINISHES PER MANUFACTURER'S SPECIFIED RECOMMENDATIONS.
- REMOVE EXISTING WOOD CHAIR RAIL AND ALL ASSOCIATED FASTENERS. PREPARE WALL SURFACES TO RECEIVE NEW FINISHES. ALTERNATE #2.
- REMOVE EXISTING METAL FRAME AROUND OPENING AND ALL ASSOCIATED FINISHES, STANDARDS, AND FASTENERS WITHIN PATCH ADJACENT WALL SURFACES TO REMAIN AND PREPARE OPENING TO RECEIVE NEW FINISHES.
- REMOVE EXISTING RESILIENT FLOORING, MASTICS, ETC. TO CONCRETE SLAB. PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FINISHES PER MANUFACTURER'S SPECIFIED RECOMMENDATIONS.
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- REMOVE EXISTING WINDOW GLAZING, FRAME, AND ALL ASSOCIATED BLINDS & HARDWARE.
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- REMOVE PORTION OF WALL PARTITION FINISH FOR INSTALLATION OF NEW FIRE EXTINGUISHER CABINET. REVISE EXISTING STUD FRAMING AND ADD ADDITIONAL FRAMING AS REQUIRED.
- REMOVE BOTTOM EXISTING VENEER WOOD PANEL (2 TOTAL PANELS) AND ALL ASSOCIATED WOOD FURRING STRIPS AND 1-5/8" METAL STUDS. PROVIDE TEMPORARY SUPPORTS TO EXISTING WOOD PANELS ABOVE AS REQUIRED UNTIL NEW CONSTRUCTION IS INSTALLED.
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2ND FLOOR REFLECTED CEILING DEMOLITION PLAN - ALTERNATES T6

SCALE: 1/4" = 1'-0"



2ND FLOOR REFLECTED CEILING DEMOLITION PLAN B6

SCALE: 1/8" = 1'-0"

B6

DEMO NOTES

B1





- INDICATES AREAS OF BUILDING NOT IN CONTRACT
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**INTERNATIONAL ARCHITECTS ATELIER**  
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 1600 BALTIMORE  
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**FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI**

**LEE HILLS HALL - RENOVATE SPACES FOR NOVAK LEADERSHIP INSTITUTE THE UNIVERSITY OF MISSOURI**

**ISSUED FOR BID**

221 S 8th St  
 Columbia, MO 65201

DATE: 10/27/2021  
 PROJ. NO.: CP220031

DESIGNED BY: AO, JL  
 DRAWN BY: AO, JL  
 CHECKED BY: JL, MA  
 APPROVED BY: MA

SEAL: MAJID AMIRAHMADI ARCHITECT  
 10-27-2021  
 MAJID AMIRAHMADI - ARCHITECT  
 MO#: A-5077

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NO.	REVISION SUBMISSION	DATE
0	ISSUED FOR BID	10/27/2021

**DEMOLITION DETAILS & PHOTOGRAPHS**

**D800**

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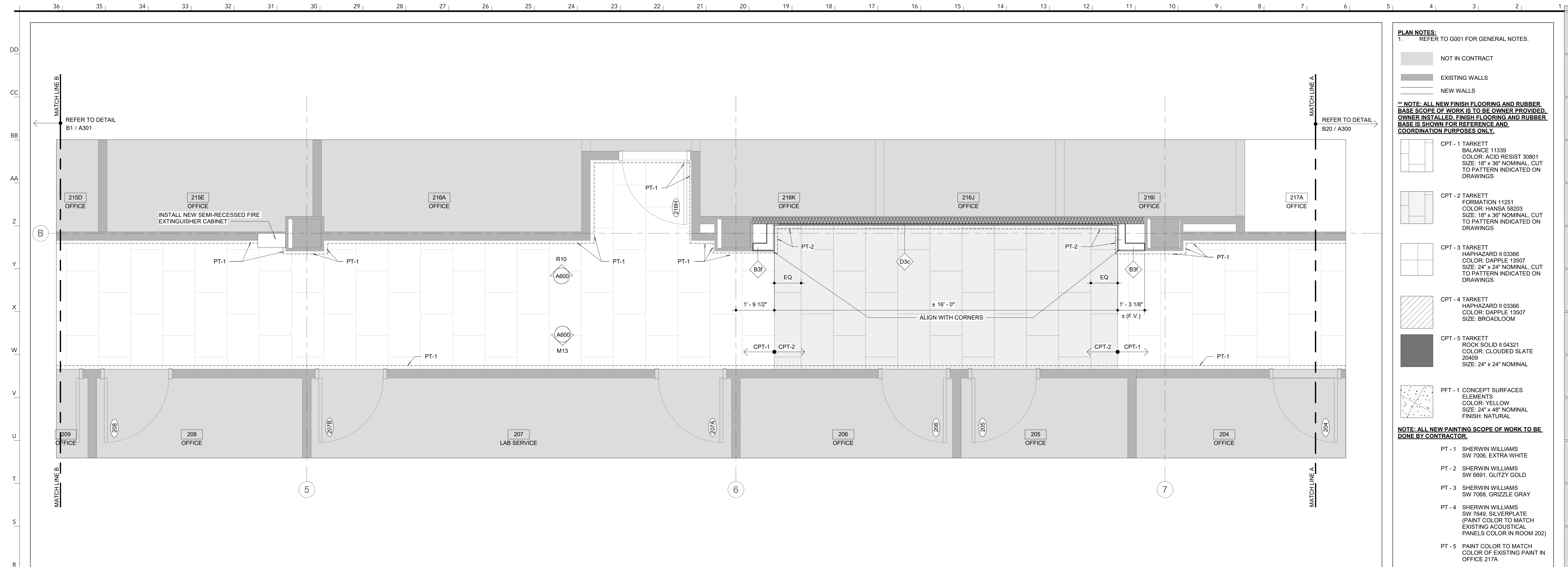






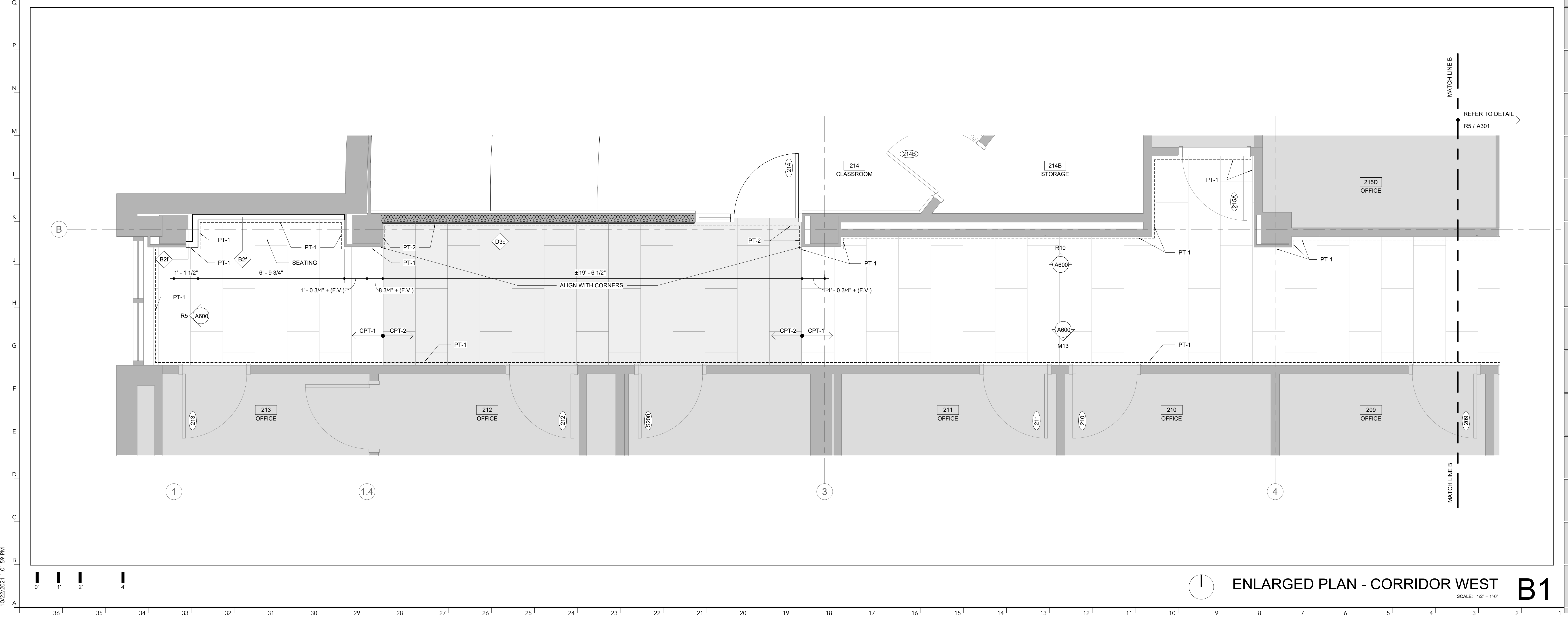






ENLARGED PLAN - CORRIDOR EAST | R5 PLAN NOTES | R1  
SCALE: 1/2" = 1'-0"

- PLAN NOTES:**  
1. REFER TO G001 FOR GENERAL NOTES.
- NOT IN CONTRACT
  - EXISTING WALLS
  - NEW WALLS
- \*\* NOTE: ALL NEW FINISH FLOORING AND RUBBER BASE SCOPE OF WORK IS TO BE OWNER PROVIDED. OWNER INSTALLED. FINISH FLOORING AND RUBBER BASE IS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.**
- CPT - 1 TARKETT  
BALANCE 11339  
COLOR: ACID RESIST 30801  
SIZE: 18" x 36" NOMINAL. CUT TO PATTERN INDICATED ON DRAWINGS
  - CPT - 2 TARKETT  
FORMATION 11251  
COLOR: HANSA 68203  
SIZE: 18" x 36" NOMINAL. CUT TO PATTERN INDICATED ON DRAWINGS
  - CPT - 3 TARKETT  
HAPHAZARD II 03366  
COLOR: DAPPLE 13507  
SIZE: 24" x 24" NOMINAL. CUT TO PATTERN INDICATED ON DRAWINGS
  - CPT - 4 TARKETT  
HAPHAZARD II 03366  
COLOR: DAPPLE 13507  
SIZE: BROADLOOM
  - CPT - 5 TARKETT  
ROCK SOLID II 04321  
COLOR: CLOUDED SLATE 20409  
SIZE: 24" x 24" NOMINAL
- PT - 1 CONCEPT SURFACES ELEMENTS**  
COLOR: YELLOW  
SIZE: 24" x 48" NOMINAL  
FINISH: NATURAL
- NOTE: ALL NEW PAINTING SCOPE OF WORK TO BE DONE BY CONTRACTOR.**
- PT - 1 SHERWIN WILLIAMS  
SW 7006. EXTRA WHITE
  - PT - 2 SHERWIN WILLIAMS  
SW 6691. GLITZY GOLD
  - PT - 3 SHERWIN WILLIAMS  
SW 7068. GRIZZLE GRAY
  - PT - 4 SHERWIN WILLIAMS  
SW 7649. SILVERPLATE  
(PAINT COLOR TO MATCH EXISTING ACOUSTICAL PANELS COLOR IN ROOM 202)
  - PT - 5 PAINT COLOR TO MATCH  
COLOR OF EXISTING PAINT IN OFFICE 217A



ENLARGED PLAN - CORRIDOR WEST | B1  
SCALE: 1/2" = 1'-0"



FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI

LEE HILLS HALL -  
RENOVATE  
SPACES FOR  
NOVAK  
LEADERSHIP  
INSTITUTE  
THE UNIVERSITY OF  
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ISSUED FOR BID

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DESIGNED BY:	AO, JL
DRAWN BY:	AO, JL
CHECKED BY:	JL, MA
APPROVED BY:	MA

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ENLARGED FLOOR  
PLANS

A301

10/22/2021 1:01:59 PM





FOR THE CURATORS OF  
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LEE HILLS HALL -  
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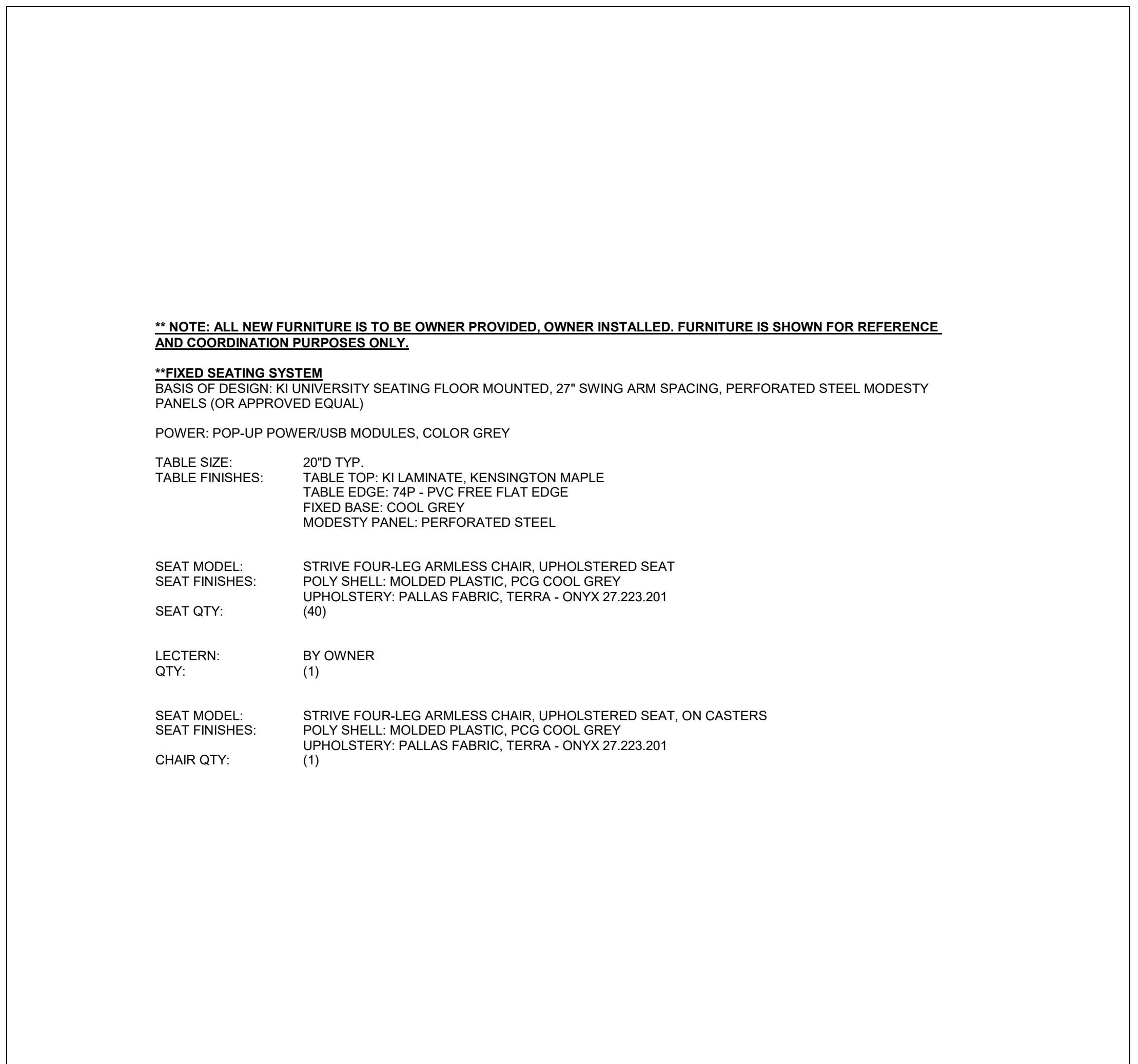
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ENLARGED FLOOR  
 PLANS

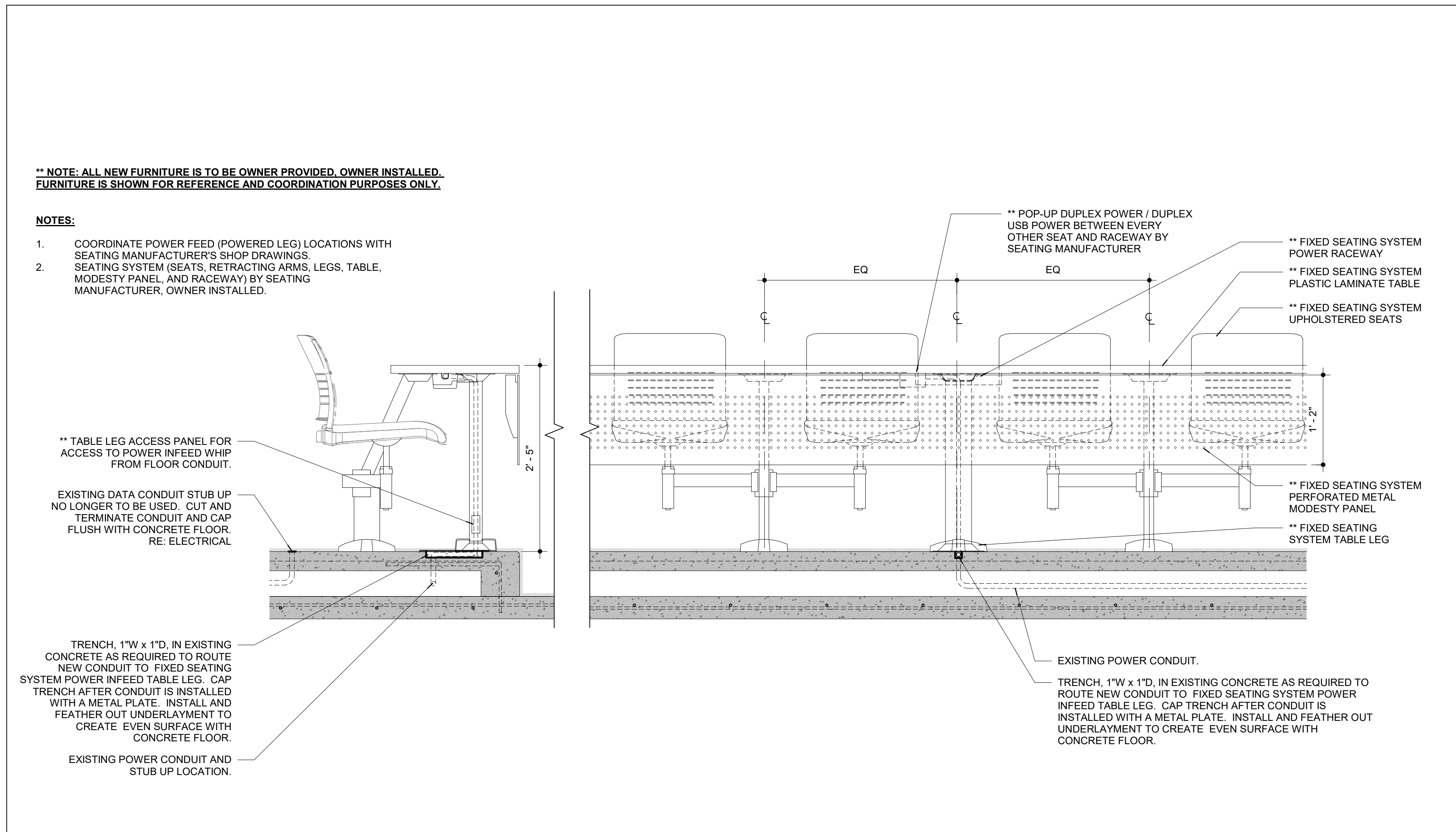
A302

- PLAN NOTES:**  
 1. REFER TO G001 FOR GENERAL NOTES.
- NOT IN CONTRACT
  - EXISTING WALLS
  - NEW WALLS
- \*\* NOTE: ALL NEW FINISH FLOORING AND RUBBER BASE SCOPE OF WORK IS TO BE OWNER PROVIDED, OWNER INSTALLED. FINISH FLOORING AND RUBBER BASE IS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.**
- CPT - 1 TARKETT BALANCE 11339  
 COLOR: ACID RESIST 30801  
 SIZE: 18" x 36" NOMINAL, CUT TO PATTERN INDICATED ON DRAWINGS
  - CPT - 2 TARKETT FORMATION 11251  
 COLOR: HANSA 58203  
 SIZE: 18" x 36" NOMINAL, CUT TO PATTERN INDICATED ON DRAWINGS
  - CPT - 3 TARKETT HAPHAZARD II 03366  
 COLOR: DAPPLE 13507  
 SIZE: 24" x 24" NOMINAL, CUT TO PATTERN INDICATED ON DRAWINGS
  - CPT - 4 TARKETT HAPHAZARD II 03366  
 COLOR: DAPPLE 13507  
 SIZE: BROADLOOM
  - CPT - 5 TARKETT ROCK SOLID II 04321  
 COLOR: CLOUDED SLATE 20409  
 SIZE: 24" x 24" NOMINAL
  - PFT - 1 CONCEPT SURFACES ELEMENTS  
 COLOR: YELLOW  
 SIZE: 24" x 48" NOMINAL  
 FINISH: NATURAL

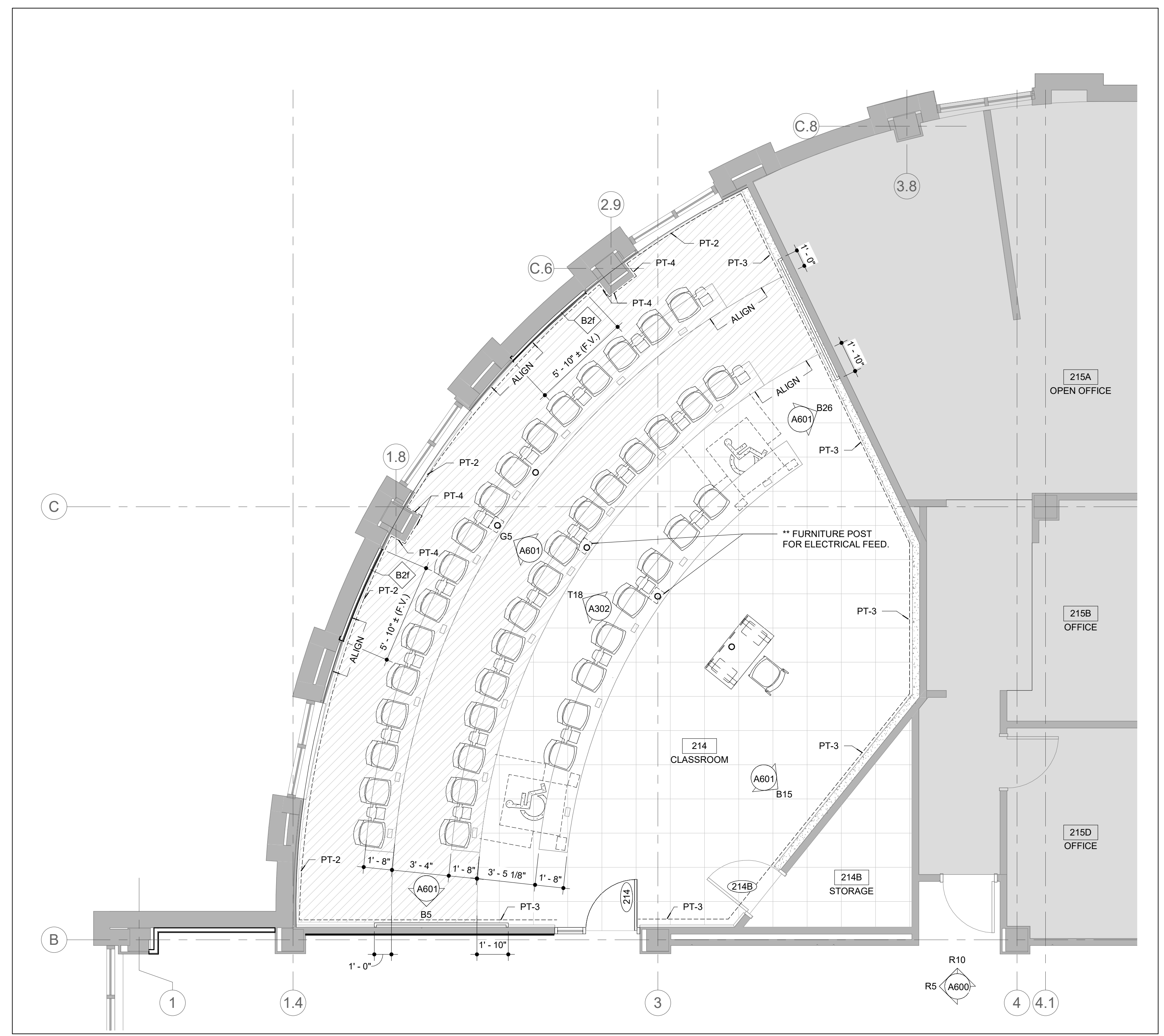
- NOTE: ALL NEW PAINTING SCOPE OF WORK TO BE DONE BY CONTRACTOR.**
- PT - 1 SHERWIN WILLIAMS SW 7008, EXTRA WHITE
  - PT - 2 SHERWIN WILLIAMS SW 6601, GLITZY GOLD
  - PT - 3 SHERWIN WILLIAMS SW 7008, GRIZZLE GRAY
  - PT - 4 SHERWIN WILLIAMS SW 7649, SILVERPLATE (PAINT COLOR TO MATCH EXISTING ACOUSTICAL PANELS COLOR IN ROOM 202)
  - PT - 5 PAINT COLOR TO MATCH COLOR OF EXISTING PAINT IN OFFICE 217A



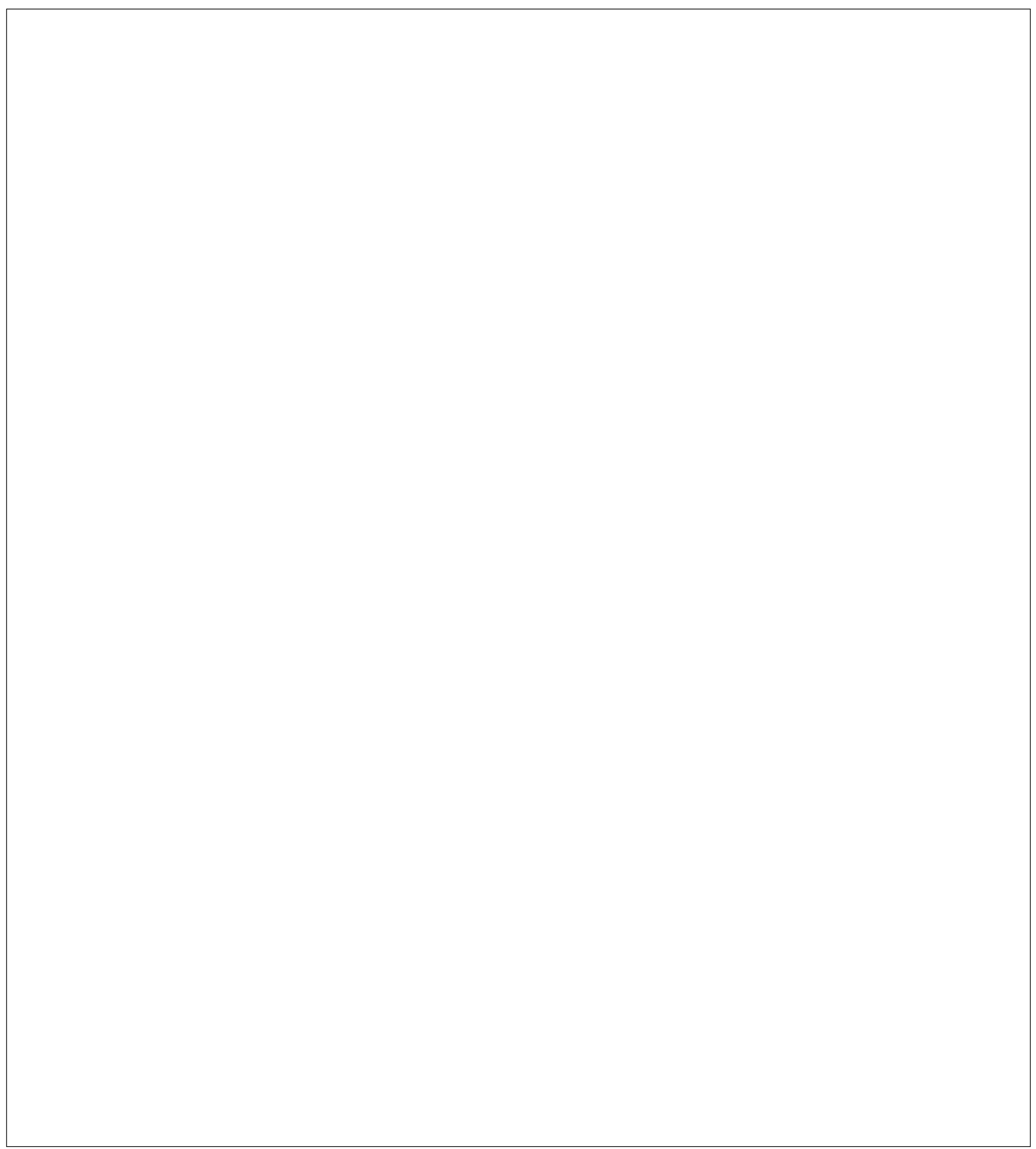
FURNITURE LEGEND | T6



CONDUIT MANAGEMENT DIAGRAM FOR FIXED SEATING | T18  
 SCALE: 1" = 1'-0"

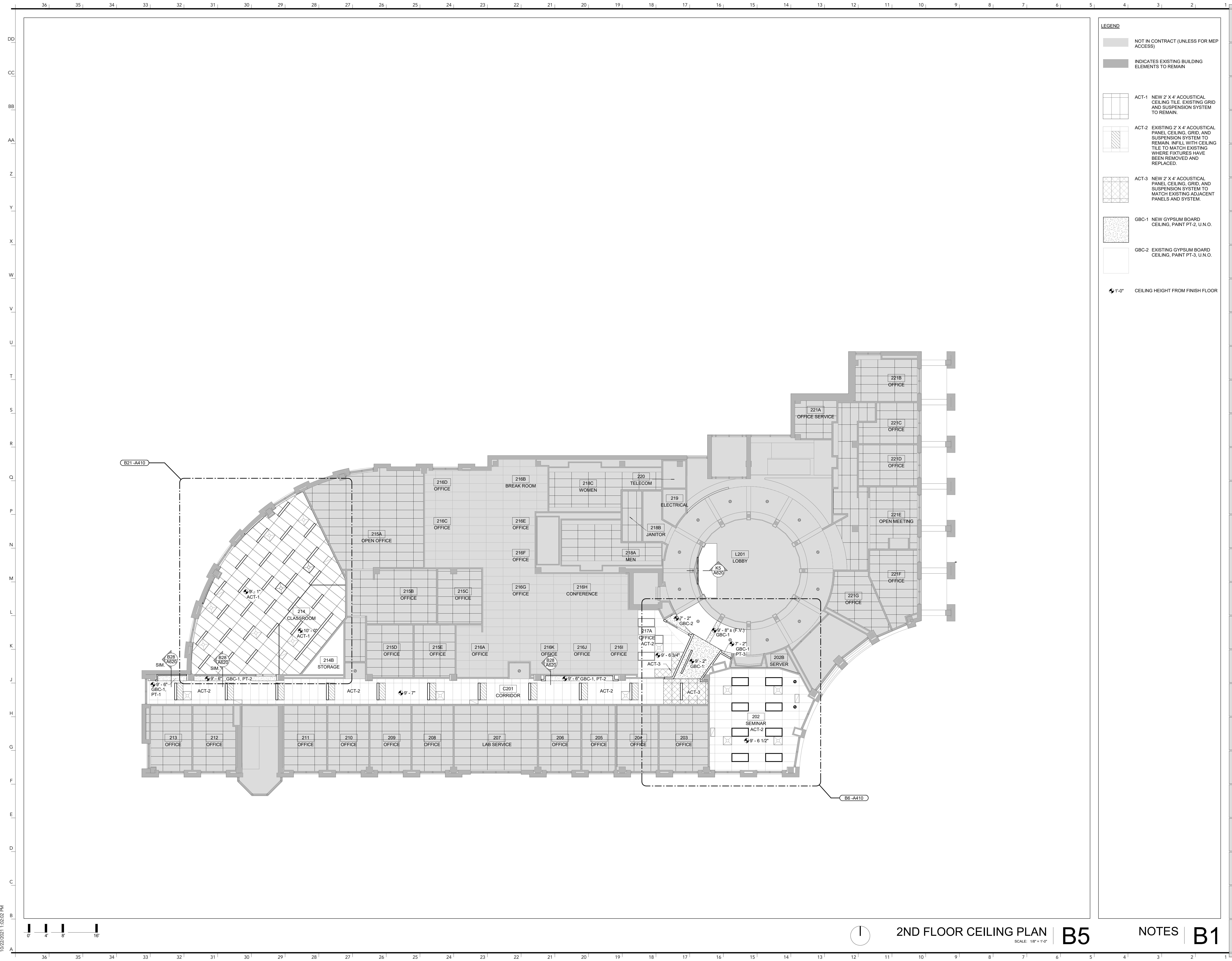


ENLARGED PLAN - CLASSROOM | B6  
 SCALE: 1/4" = 1'-0"



PLAN NOTES | B1





- LEGEND**
- NOT IN CONTRACT (UNLESS FOR MEP ACCESS)
  - INDICATES EXISTING BUILDING ELEMENTS TO REMAIN
  - ACT-1 NEW 2' X 4' ACOUSTICAL CEILING TILE, EXISTING GRID AND SUSPENSION SYSTEM TO REMAIN.
  - ACT-2 EXISTING 2' X 4' ACOUSTICAL PANEL CEILING, GRID, AND SUSPENSION SYSTEM TO REMAIN. INFILL WITH CEILING TILE TO MATCH EXISTING WHERE FIXTURES HAVE BEEN REMOVED AND REPLACED.
  - ACT-3 NEW 2' X 4' ACOUSTICAL PANEL CEILING, GRID, AND SUSPENSION SYSTEM TO MATCH EXISTING ADJACENT PANELS AND SYSTEM.
  - GBC-1 NEW GYPSUM BOARD CEILING, PAINT PT-2, U.N.O.
  - GBC-2 EXISTING GYPSUM BOARD CEILING, PAINT PT-3, U.N.O.
  - 1'-0" CEILING HEIGHT FROM FINISH FLOOR

**INTERNATIONAL ARCHITECTS ATELIER**  
 912 BROADWAY BLVD, SUITE 300 | KANSAS CITY, MO 64105  
 P: 816.471.6522 | F: 816.471.3755 | W: I-A-A.COM  
 MISSOURI STATE CERTIFICATE OF AUTHORITY #000582

**MEP CONSULTANT**  
 IMEG CORP.  
 1600 BALTIMORE  
 KANSAS CITY, MO 64108  
 PH: 816.842.837



FOR THE CURATORS OF  
 THE UNIVERSITY OF MISSOURI

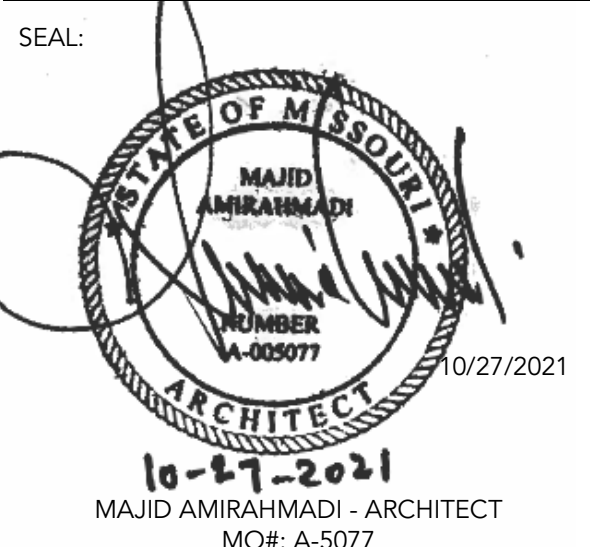
**LEE HILLS HALL -  
 RENOVATE  
 SPACES FOR  
 NOVAK  
 LEADERSHIP  
 INSTITUTE**

THE UNIVERSITY OF  
 MISSOURI

ISSUED FOR BID

221 S 8th St  
 Columbia, MO 65201

DATE:	10/27/2021
PROJ. NO.:	CP220031
DESIGNED BY:	AO, JL
DRAWN BY:	AO, JL
CHECKED BY:	JL, MA
APPROVED BY:	MA



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NO.	REVISION SUBMISSION	DATE
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**2ND FLOOR CEILING  
 PLAN**

**A400**

10/22/2021 1:02:02 PM





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1600 BALTIMORE

KANSAS CITY, MO 64108

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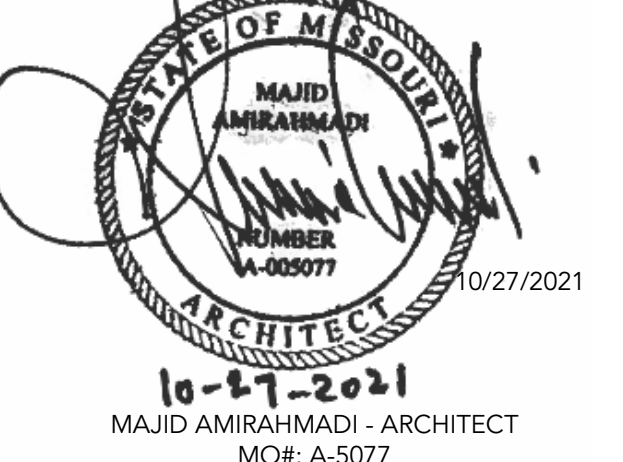
LEE HILLS HALL - RENOVATE SPACES FOR NOVAK LEADERSHIP INSTITUTE THE UNIVERSITY OF MISSOURI

ISSUED FOR BID

221 S 8th St  
Columbia, MO 65201

DATE:	10/27/2021
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DESIGNED BY:	AO, JL
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APPROVED BY:	MA

SEAL:



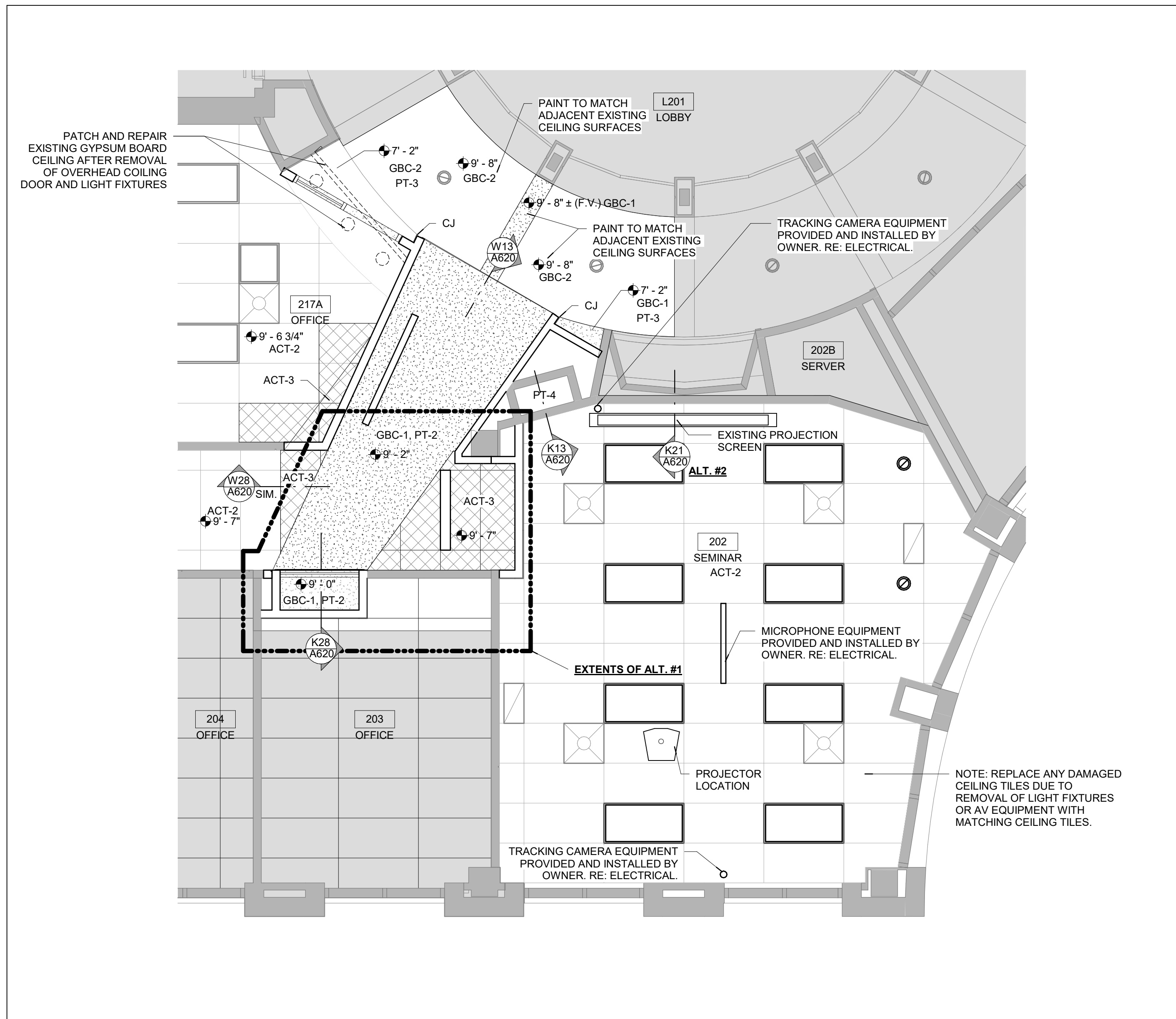
10-27-2021  
MAJID AMIRAHMADI - ARCHITECT  
MO#: A-5077

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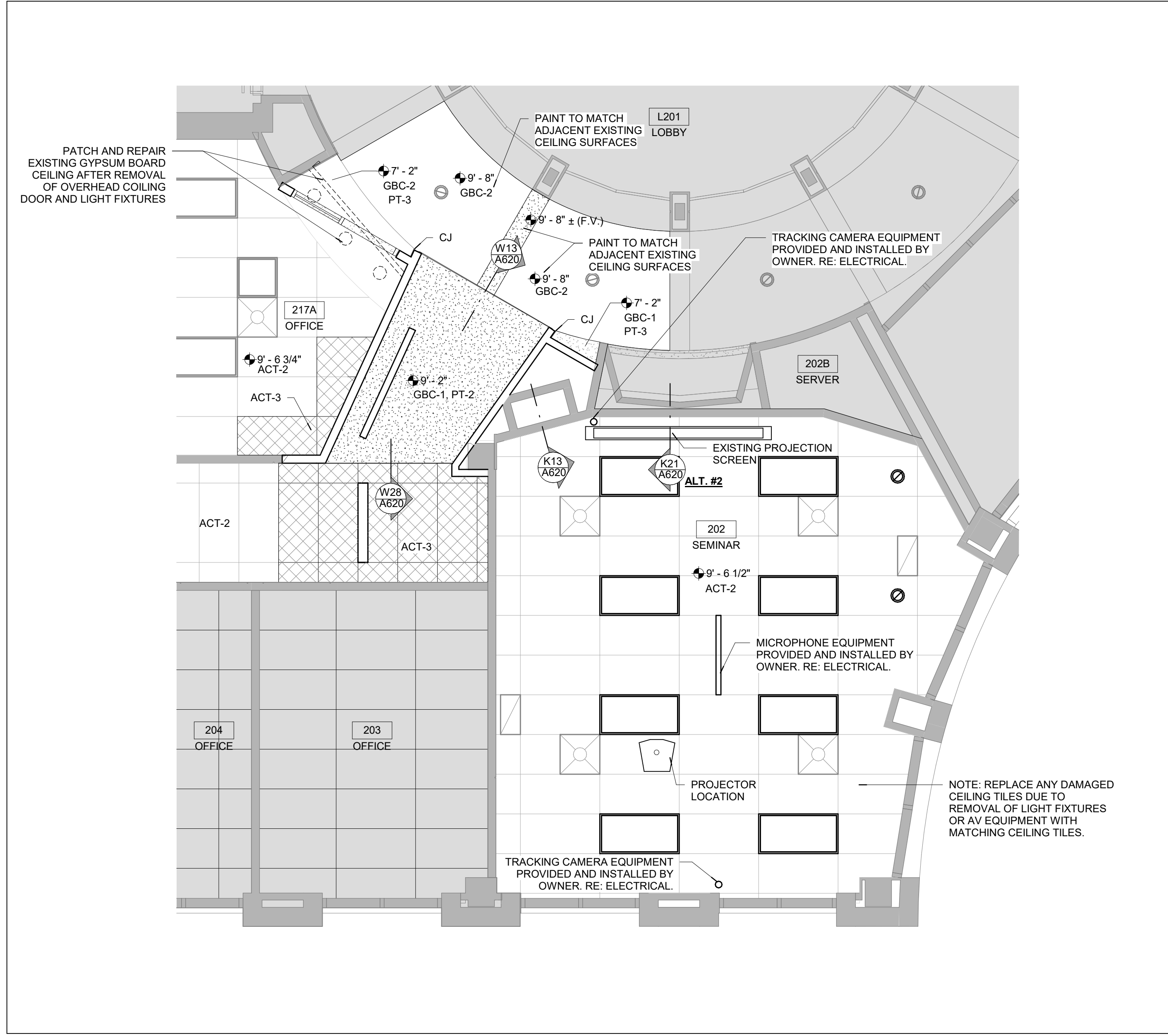
NO.	REVISION SUBMISSION	DATE
0	ISSUED FOR BID	10/27/2021

ENLARGED CEILING PLANS

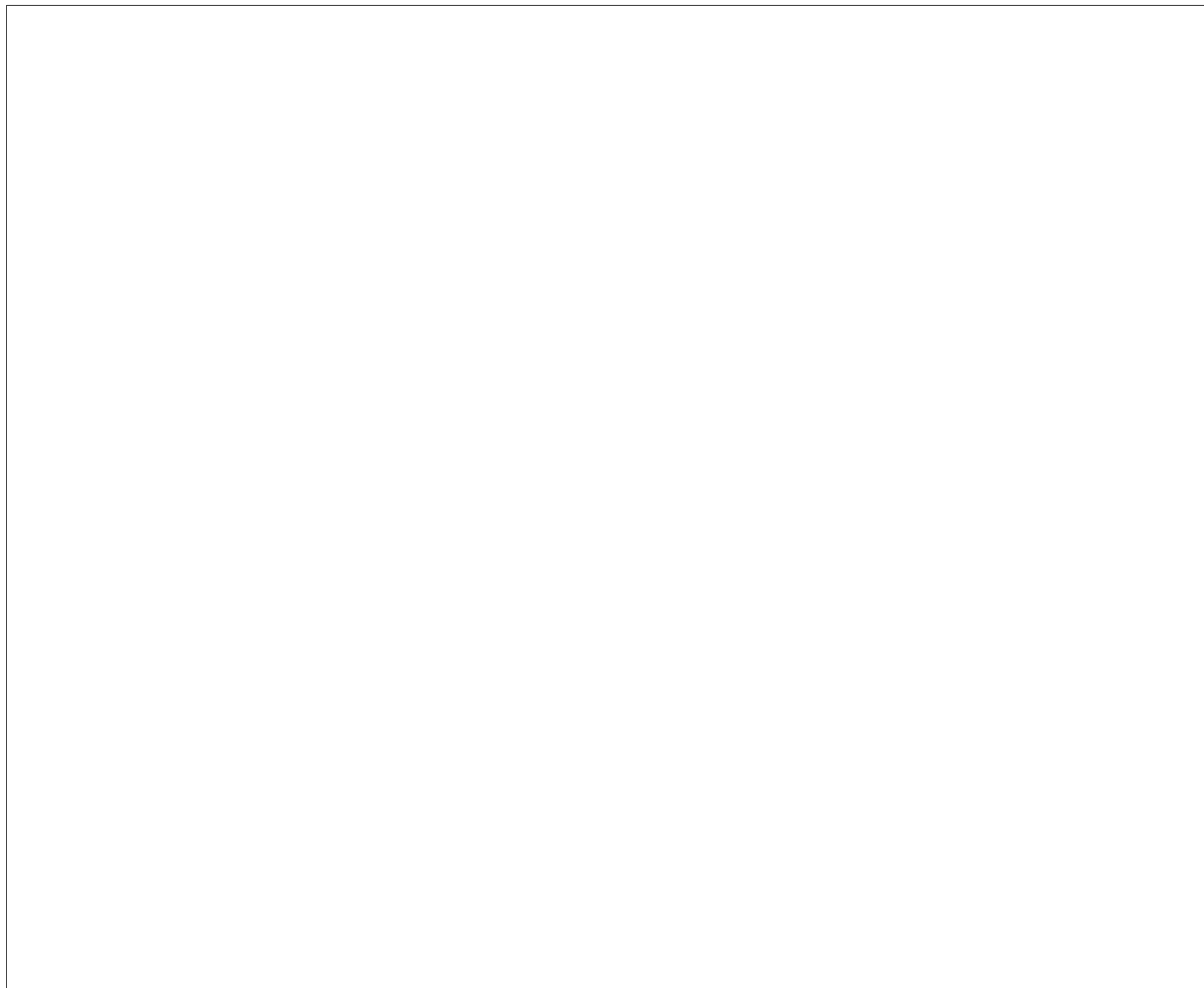
A410



ENLARGED CEILING PLAN - SEMINAR AND LOBBY - ALTERNATE #1 R6  
SCALE: 1/4" = 1'-0"



ENLARGED CEILING PLAN - SEMINAR AND LOBBY B6  
SCALE: 1/4" = 1'-0"



ENLARGED CEILING PLAN - CLASSROOM B21  
SCALE: 1/4" = 1'-0"

NOTES B1





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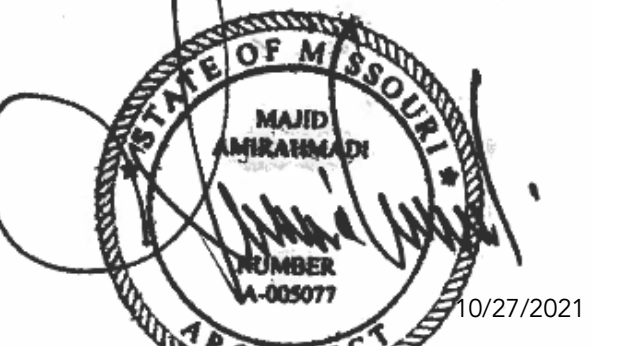
LEE HILLS HALL - RENOVATE SPACES FOR NOVAK LEADERSHIP INSTITUTE THE UNIVERSITY OF MISSOURI

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DATE: 10/27/2021  
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DRAWN BY: AO, JL  
CHECKED BY: JL, MA  
APPROVED BY: MA

SCALE: A-5077



10-27-2021  
MAJID AMIRAHMADI - ARCHITECT  
MO#: A-5077

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Table with 3 columns: NO., REVISION SUBMISSION, DATE. Row 0: ISSUED FOR BID, 10/27/2021

INT. ELEVATIONS / FINISH SCHEDULE

A600

ROOM FINISH SCHEDULE table with columns: ROOM NO., NAME, FLOOR FINISH, BASE FINISH, WALLS (NORTH, EAST, SOUTH, WEST), CEILING FINISH, COMMENTS.

FLOOR FINISHES table with columns: CODE, DESCRIPTION.

BASE FINISHES table with columns: CODE, DESCRIPTION.

WALL FINISHES table with columns: CODE, DESCRIPTION.

CEILING FINISHES table with columns: CODE, DESCRIPTION.

- COMMENTS: 1. REFER TO ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS FOR FINISHES TO BE INCLUDED IN ADDITIVE ALTERNATES. 2. REFER TO ENLARGED FLOOR PLANS AND INTERIOR ELEVATIONS FOR EXISTING WALL AND FLOOR FINISHES IN LOBBY L201 TO BE SALVAGED AND REINSTALLED IN NEW LOCATION. 3. \*\*ALL NEW FINISH FLOORING AND RUBBER BASE SCOPE OF WORK IS TO BE OWNER PROVIDED, OWNER INSTALLED. FINISH FLOORING AND RUBBER BASE IS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.

- GENERAL FINISH NOTES: 1. PROVIDE ADA-COMPLIANT FLOOR TRANSITION STRIPS AT ALL CHANGES IN FLOORING MATERIALS. 2. PATCH AND REPAIR EXISTING FLOORS, WALLS, AND CEILINGS TO REMAIN. MATCH EXISTING UNLESS NOTED OTHERWISE. 3. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FINISH DESIGNATION LOCATIONS.

EXISTING CONSTRUCTION 000000 X  
EXISTING CONSTRUCTION 000000 X \*  
TAG ALL MATERIALS WITH THEIR LOCATIONS AND SEQUENCING FOR RE-USE. REPAIR AND CLEAN ANY DAMAGED MATERIALS PRIOR TO BEING RE-SET.  
NEW CONSTRUCTION 000000 X

DIVISION 03 CONCRETE  
DIVISION 04 MASONRY  
DIVISION 05 METALS  
DIVISION 06 WOOD, PLASTICS + COMPOSITES  
064023.C 3/4" WOOD-VENEER FACED MDF  
064023.F WOOD BASE  
064023.G SOLID HARDWOOD TRIM  
064023.H PLASTIC LAMINATE  
064023.I WOOD CHAIR RAIL  
064023.J WOOD SILL  
064023.K DISPLAY CASE GLAZING DOOR

DIVISION 07 THERMAL + MOISTURE PROTECTION

DIVISION 08 OPENINGS  
081416.A FLUSH WOOD DOOR  
084113.A ALUMINUM-FRAMED STOREFRONT  
084113.B ALUMINUM-FRAMED GLASS DOOR  
088000.A WINDOW FILM  
088000.B GLAZING

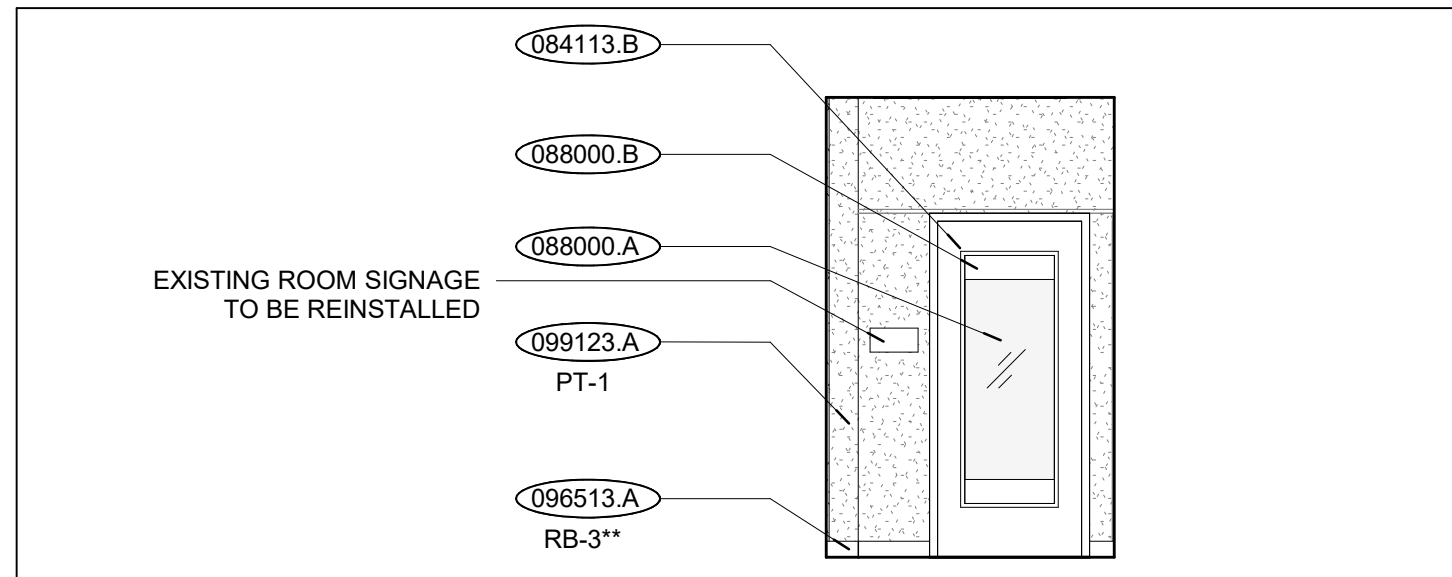
DIVISION 09 FINISHES  
096513.A RUBBER BASE  
098433.A FABRIC-WRAPPED SOUND ABSORBING WALL PANELS  
099123.A PAINT  
099300.A STAIN

DIVISION 10 SPECIALTIES  
101100.A MARKERBOARD  
101100.B TACKBOARD PANEL  
104413.A SEMI-RECESS FIRE PROTECTION CABINET

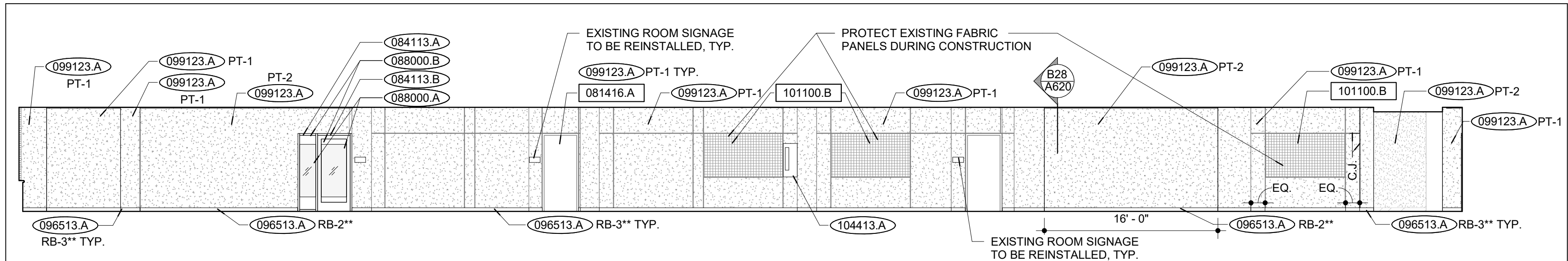
DIVISION 11 EQUIPMENT  
DIVISION 12 FURNISHINGS  
122413.A MANUAL ROLLER WINDOW SHADE

DIVISION 14 CONVEYING EQUIPMENT  
DIVISION 22 PLUMBING  
DIVISION 23 HVAC  
DIVISION 26 ELECTRICAL  
260000.A INTERIOR LINEAR FEATURE LIGHTING  
DIVISION 31 EARTHWORK  
DIVISION 32 EXTERIOR IMPROVEMENTS

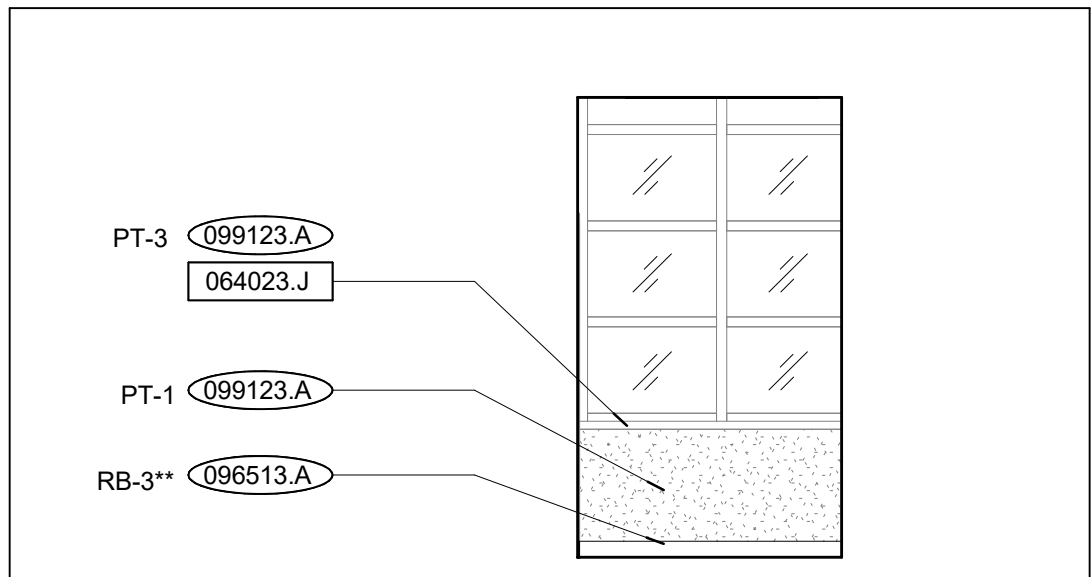
FINISH SCHEDULE | V5



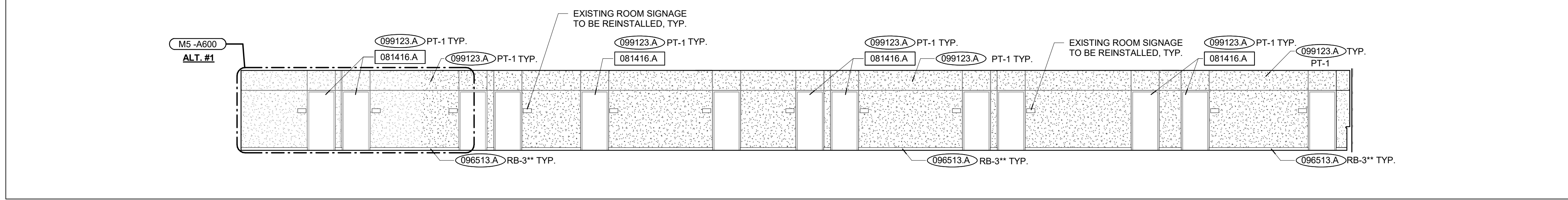
CORRIDOR - 201 - E | R29  
SCALE: 1/4" = 1'-0"



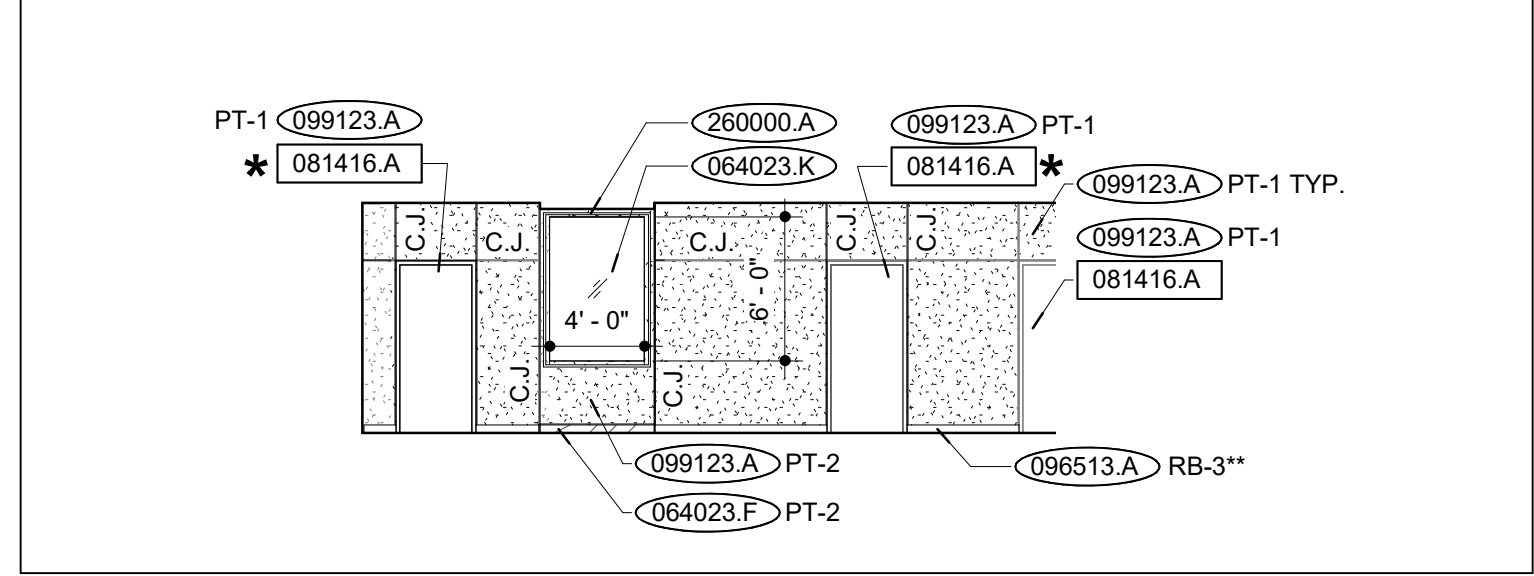
CORRIDOR - 201 - N | R10  
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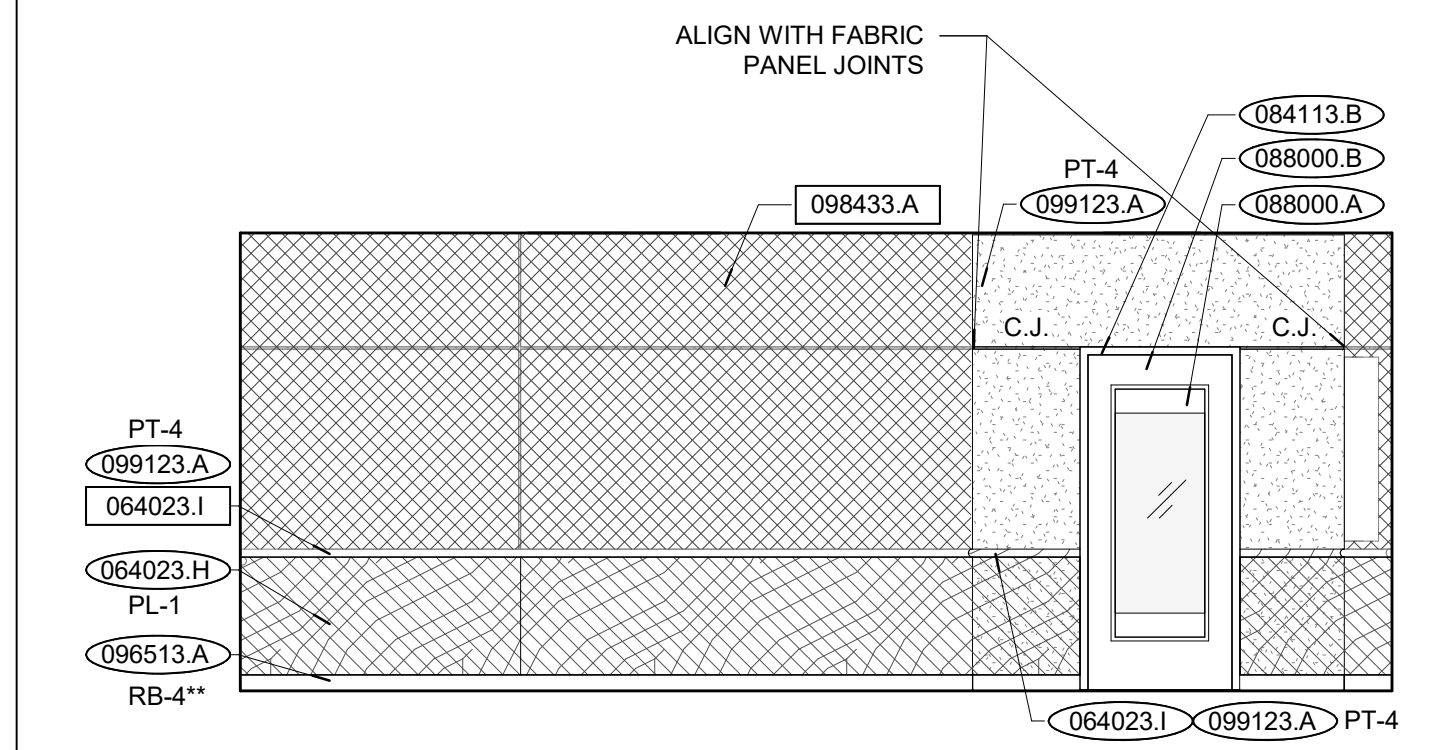
CORRIDOR - 201 - W | R5  
SCALE: 1/4" = 1'-0"



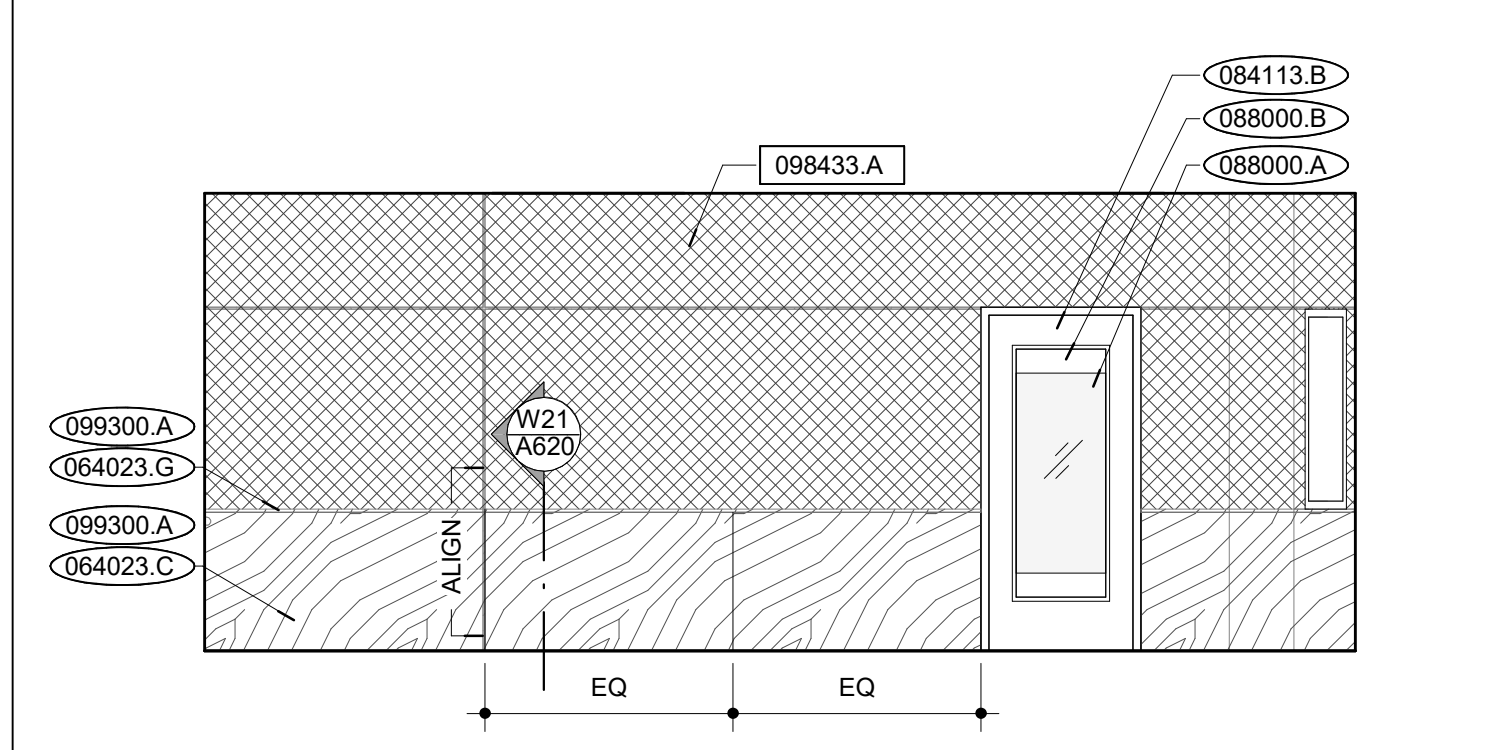
CORRIDOR - 201 - S | M13  
SCALE: 1/8" = 1'-0"



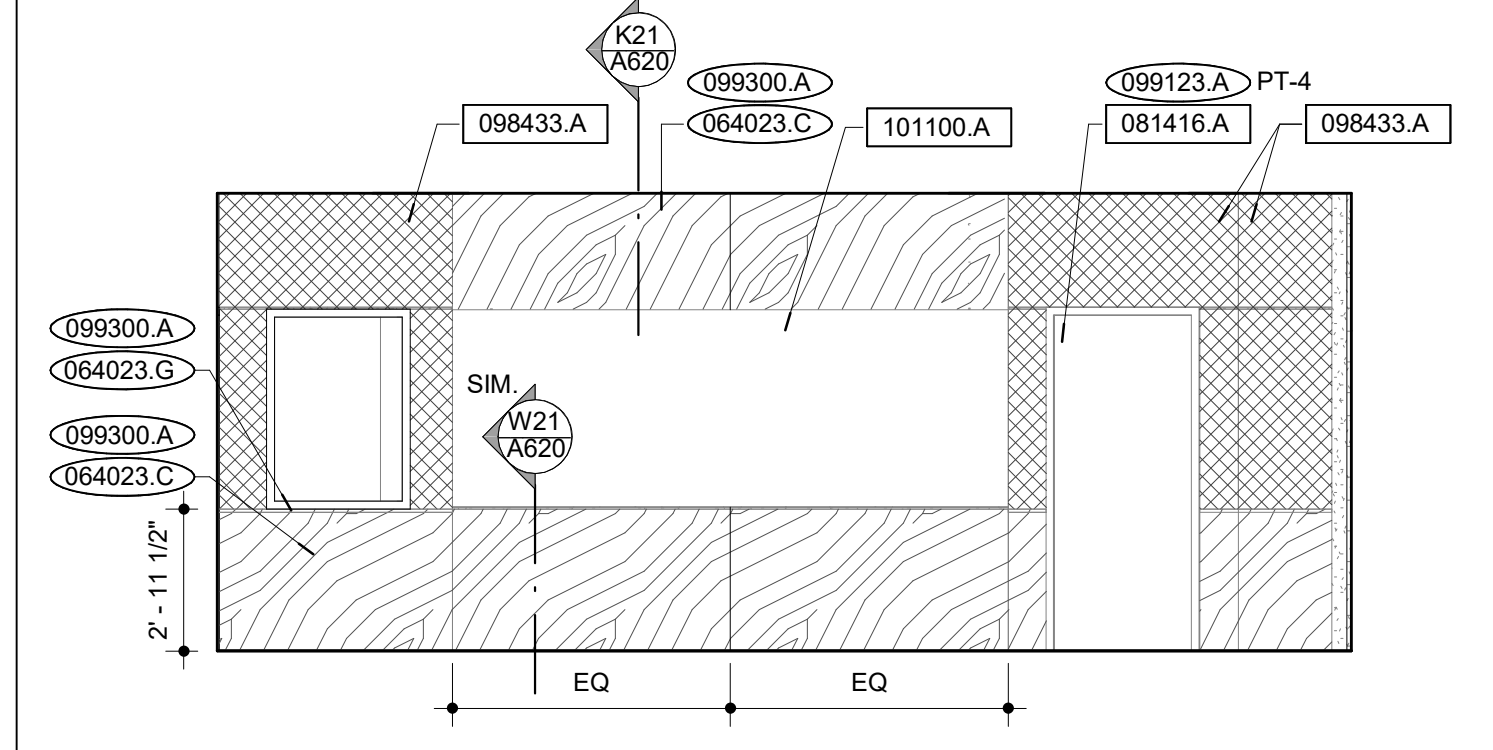
CORRIDOR - 201 - SOUTH - ALT. #1 | M5  
SCALE: 1/8" = 1'-0"



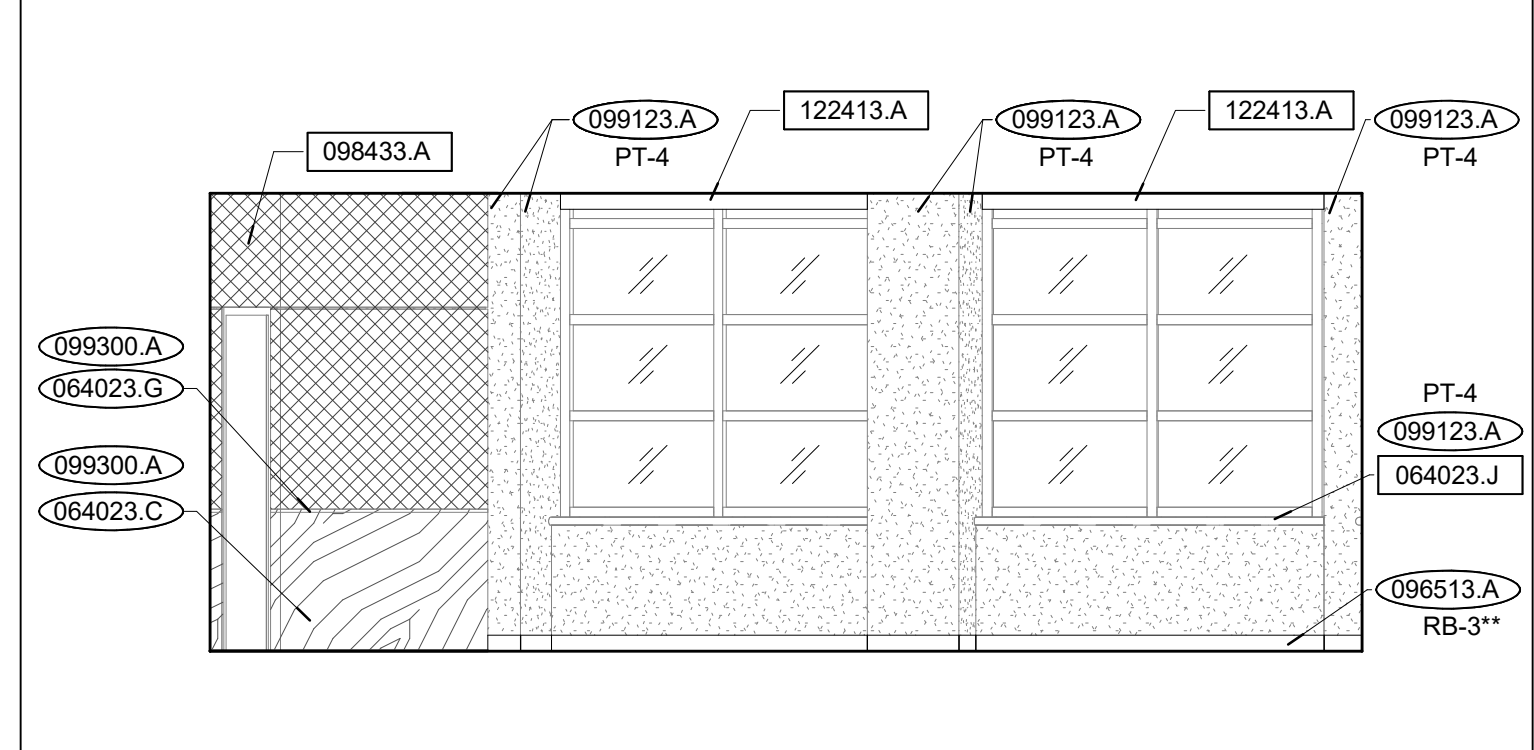
SEMINAR - 202 - WEST - ALT. #1 | G29  
SCALE: 1/4" = 1'-0"



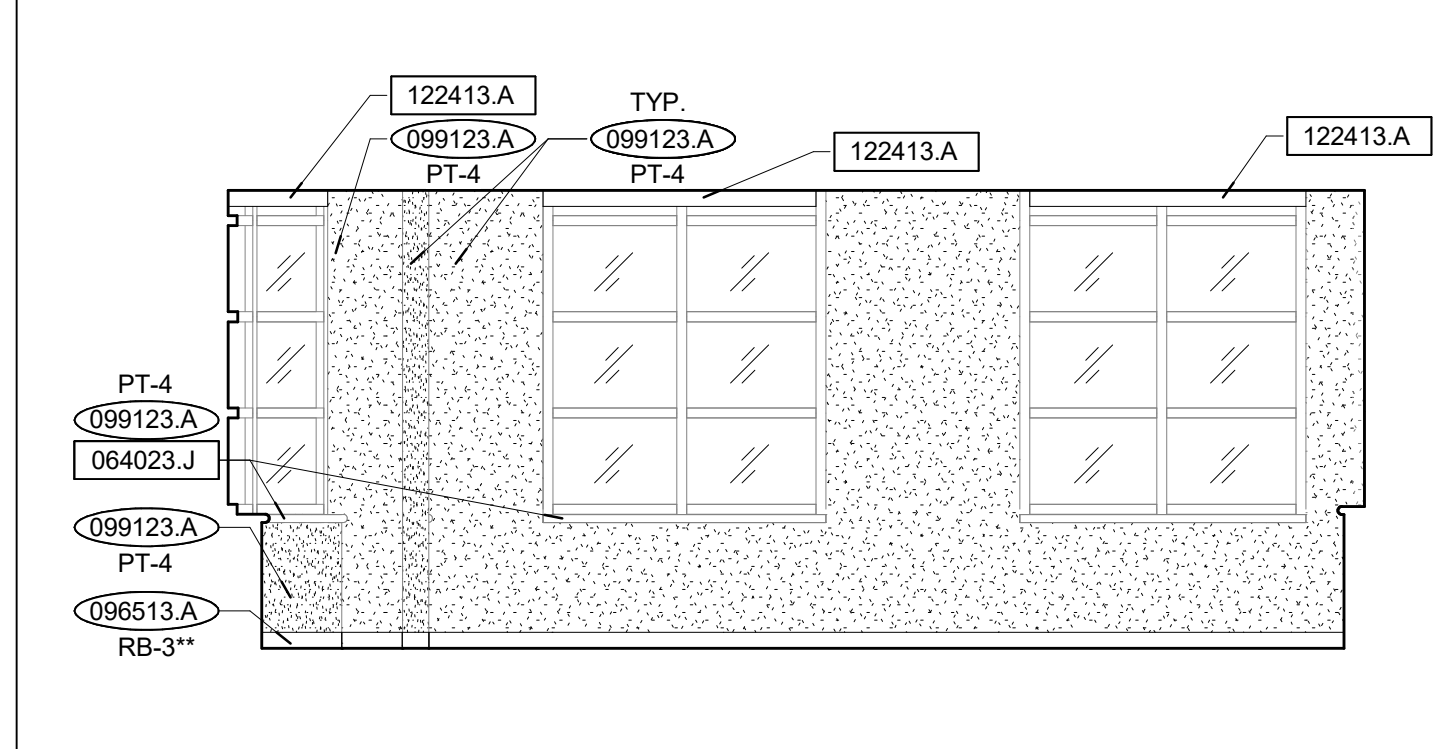
SEMINAR - 202 - WEST - ALT. #2 | G21  
SCALE: 1/4" = 1'-0"



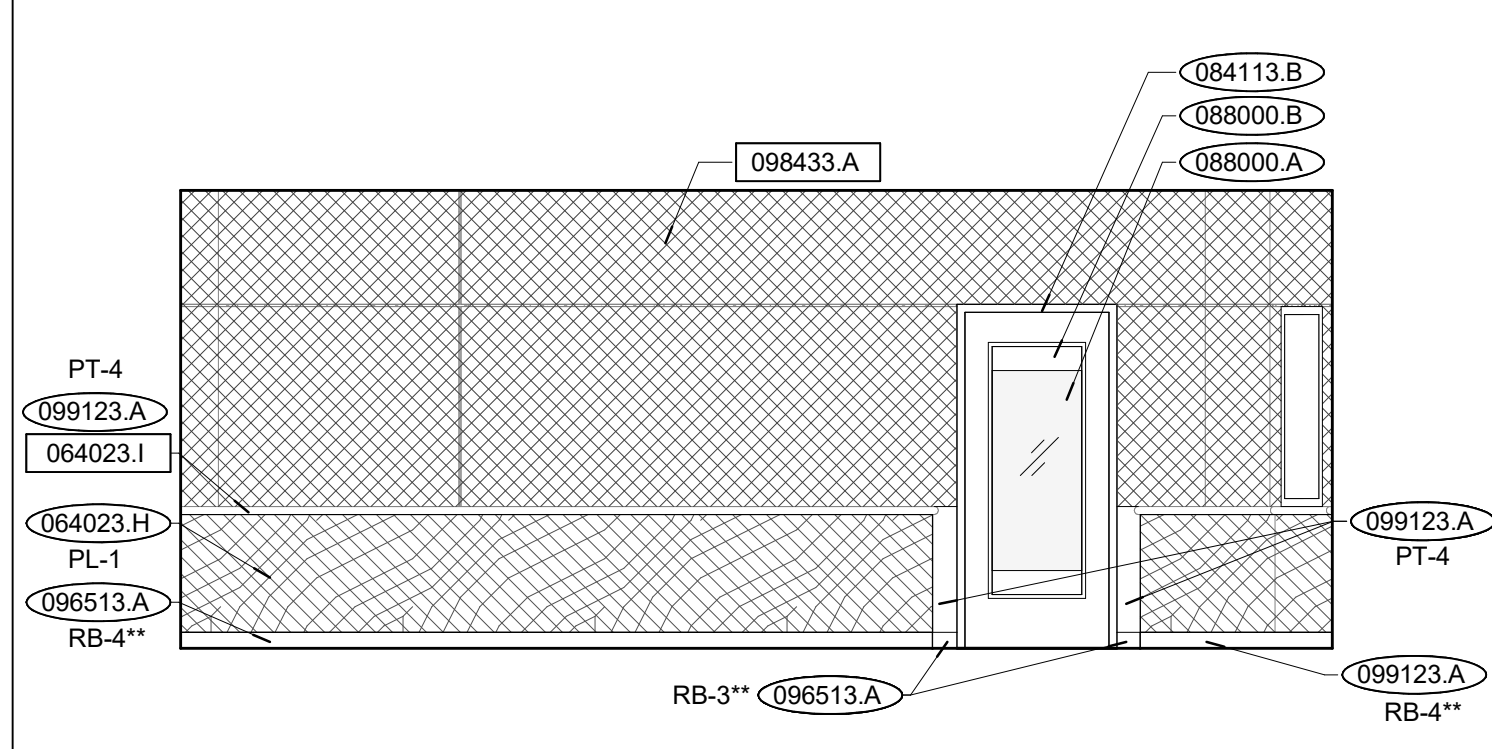
SEMINAR - 202 - NORTH - ALT. #2 | G13  
SCALE: 1/4" = 1'-0"



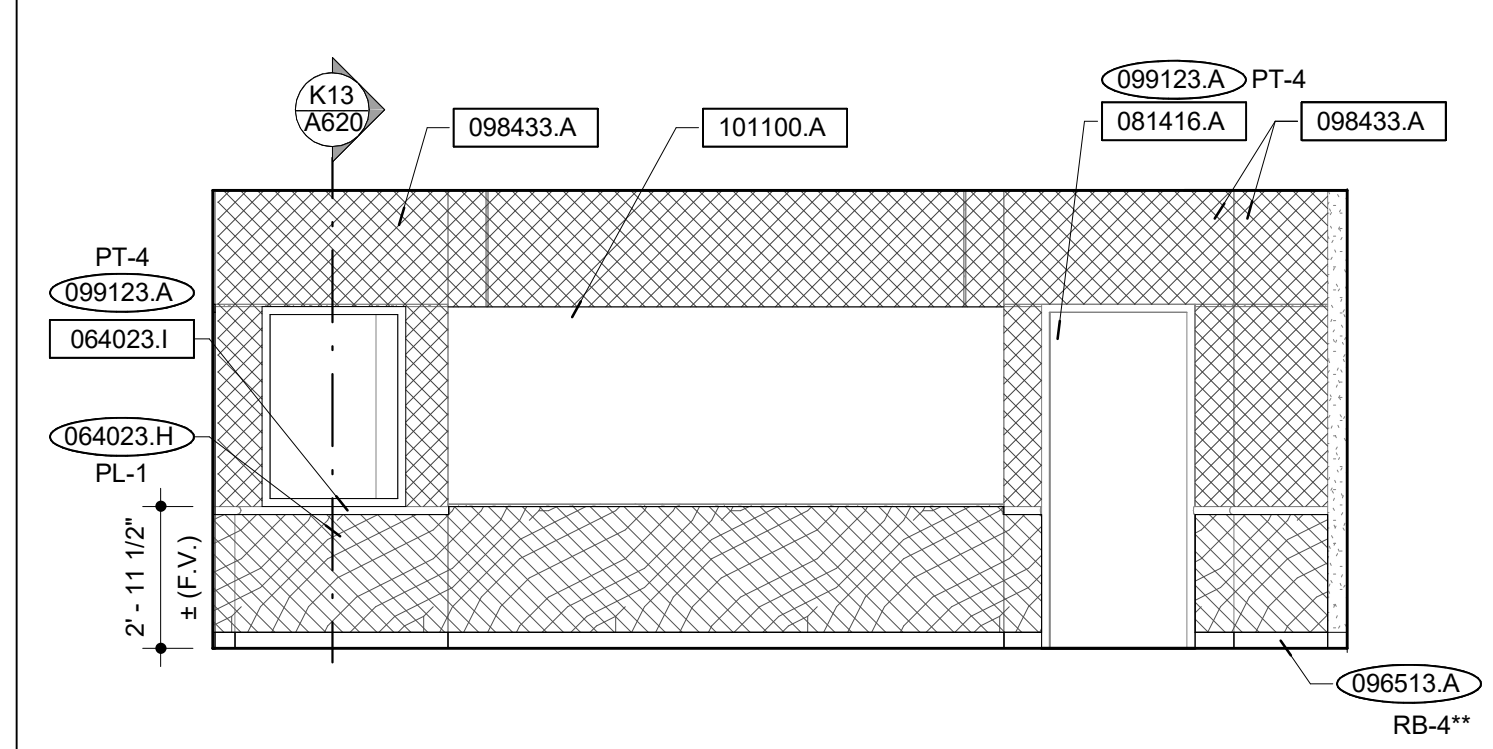
SEMINAR - 202 - EAST - ALT. #2 | G5  
SCALE: 1/4" = 1'-0"



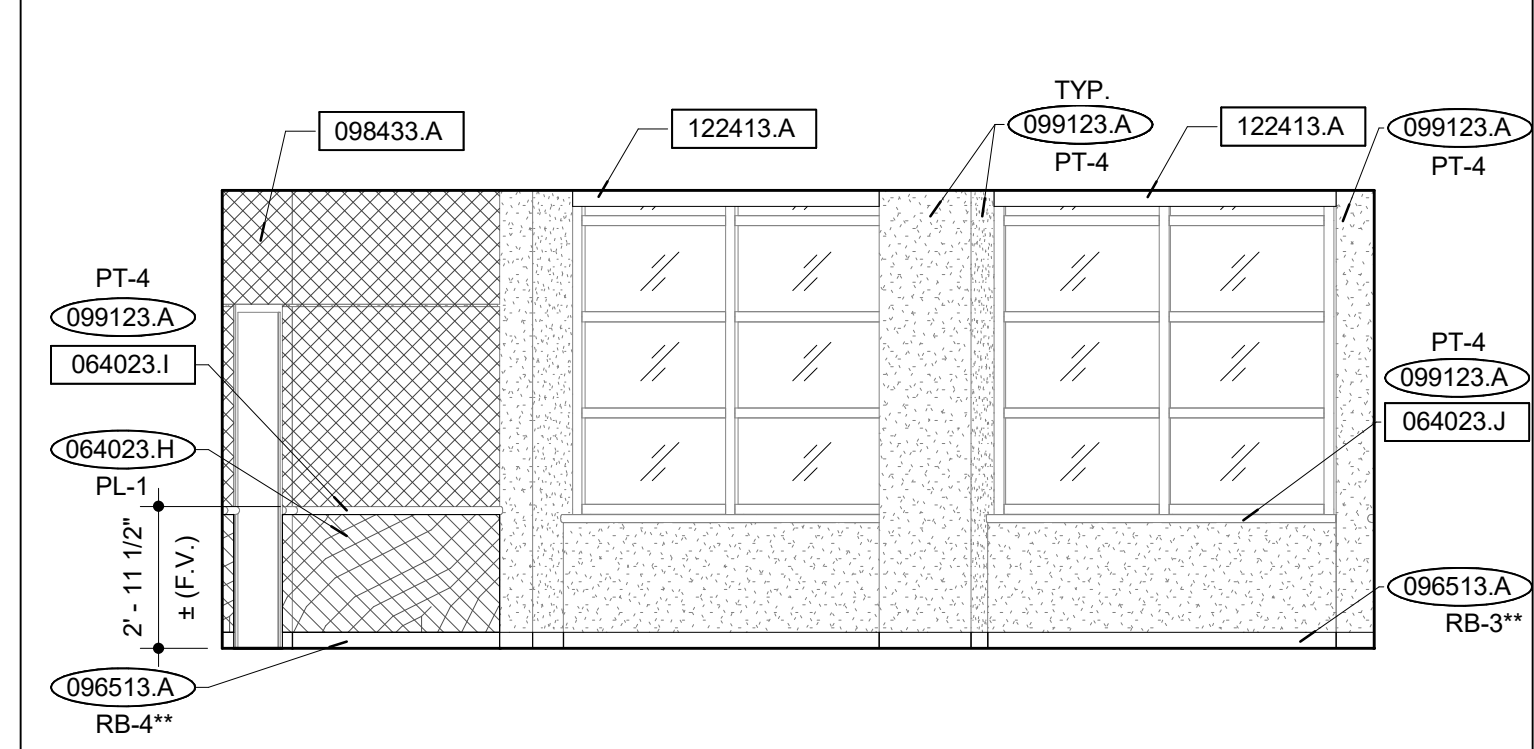
SEMINAR - 202 - SOUTH | B29  
SCALE: 1/4" = 1'-0"



SEMINAR - 202 - WEST | B21  
SCALE: 1/4" = 1'-0"



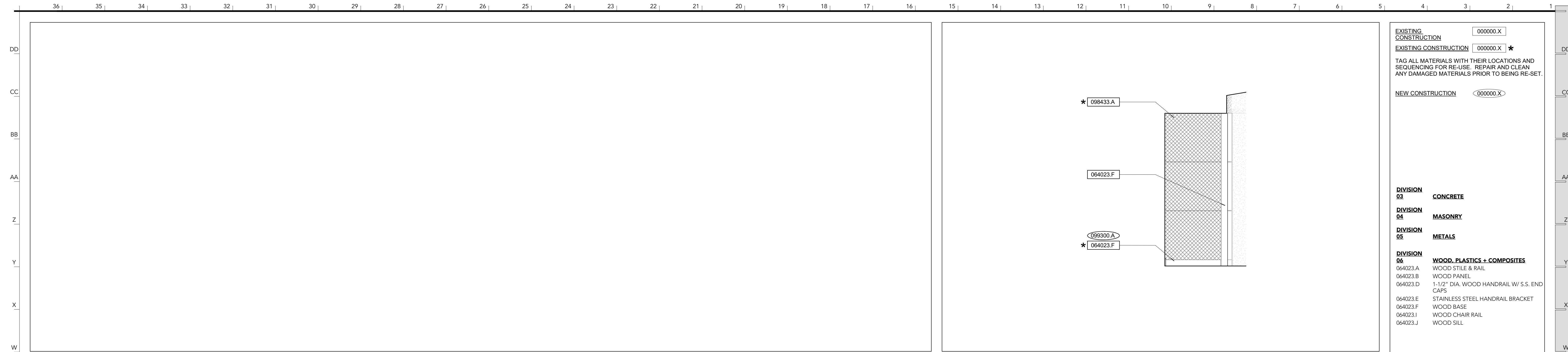
SEMINAR - 202 - NORTH | B13  
SCALE: 1/4" = 1'-0"



SEMINAR - 202 - EAST | B5  
SCALE: 1/4" = 1'-0"

KEY NOTES | B1





LOBBY - 201 - NW | W5  
SCALE: 1/2" = 1'-0"

- EXISTING CONSTRUCTION** 000000.X
- NEW CONSTRUCTION** 000000.X
- DIVISION 03 CONCRETE**
- DIVISION 04 MASONRY**
- DIVISION 05 METALS**
- DIVISION 06 WOOD, PLASTICS & COMPOSITES**
- 064023.A WOOD STILE & RAIL
  - 064023.B WOOD PANEL
  - 064023.D 1-1/2" DIA. WOOD HANDRAIL W/ S.S. END CAPS
  - 064023.E STAINLESS STEEL HANDRAIL BRACKET
  - 064023.F WOOD BASE
  - 064023.I WOOD CHAIR RAIL
  - 064023.J WOOD SILL
- DIVISION 07 THERMAL & MOISTURE PROTECTION**
- DIVISION 08 OPENINGS**
- 081416.A FLUSH WOOD DOOR
  - 084113.A ALUMINUM-FRAMED STOREFRONT
  - 084113.B ALUMINUM-FRAMED GLASS DOOR
  - 088000.A WINDOW FILM
  - 088000.B GLAZING
- DIVISION 09 FINISHES**
- 094513.A RUBBER BASE
  - 094813.B BROADLOOM CARPET
  - 098433.A FABRIC-WRAPPED SOUND ABSORBING WALL PANELS
  - 099123.A PAINT
  - 099300.A STAIN
- DIVISION 10 SPECIALTIES**
- 101100.A MARKERBOARD
  - 101419.A BACK-LIT DIMENSIONAL LETTER SIGNAGE
  - 101419.B SIGNAGE MOUNTING PANEL

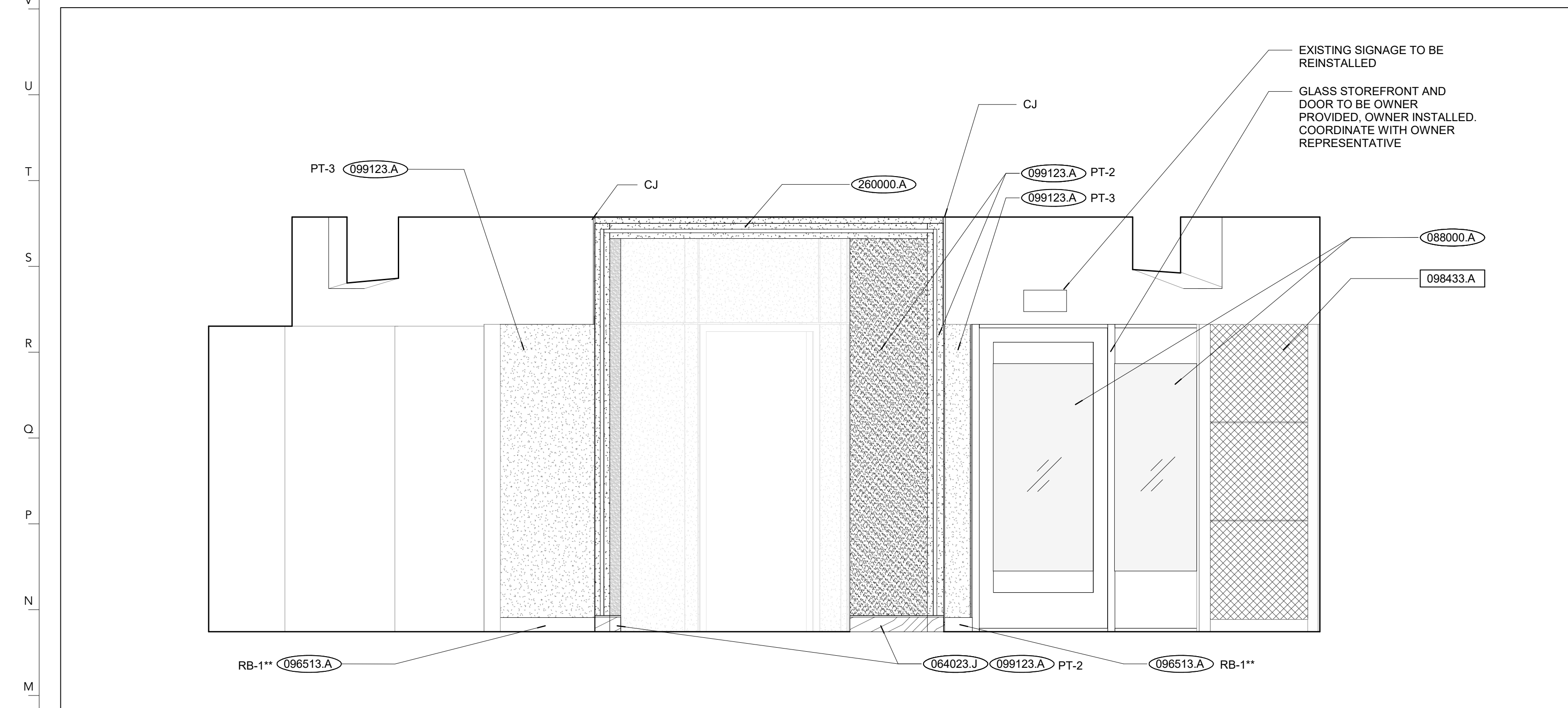
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912 BROADWAY BLVD, SUITE 300 | KANSAS CITY, MO 64105  
P: 816.471.6522 | F: 816.471.3755 | W: I-A.COM  
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1600 BALTIMORE  
KANSAS CITY, MO 64108  
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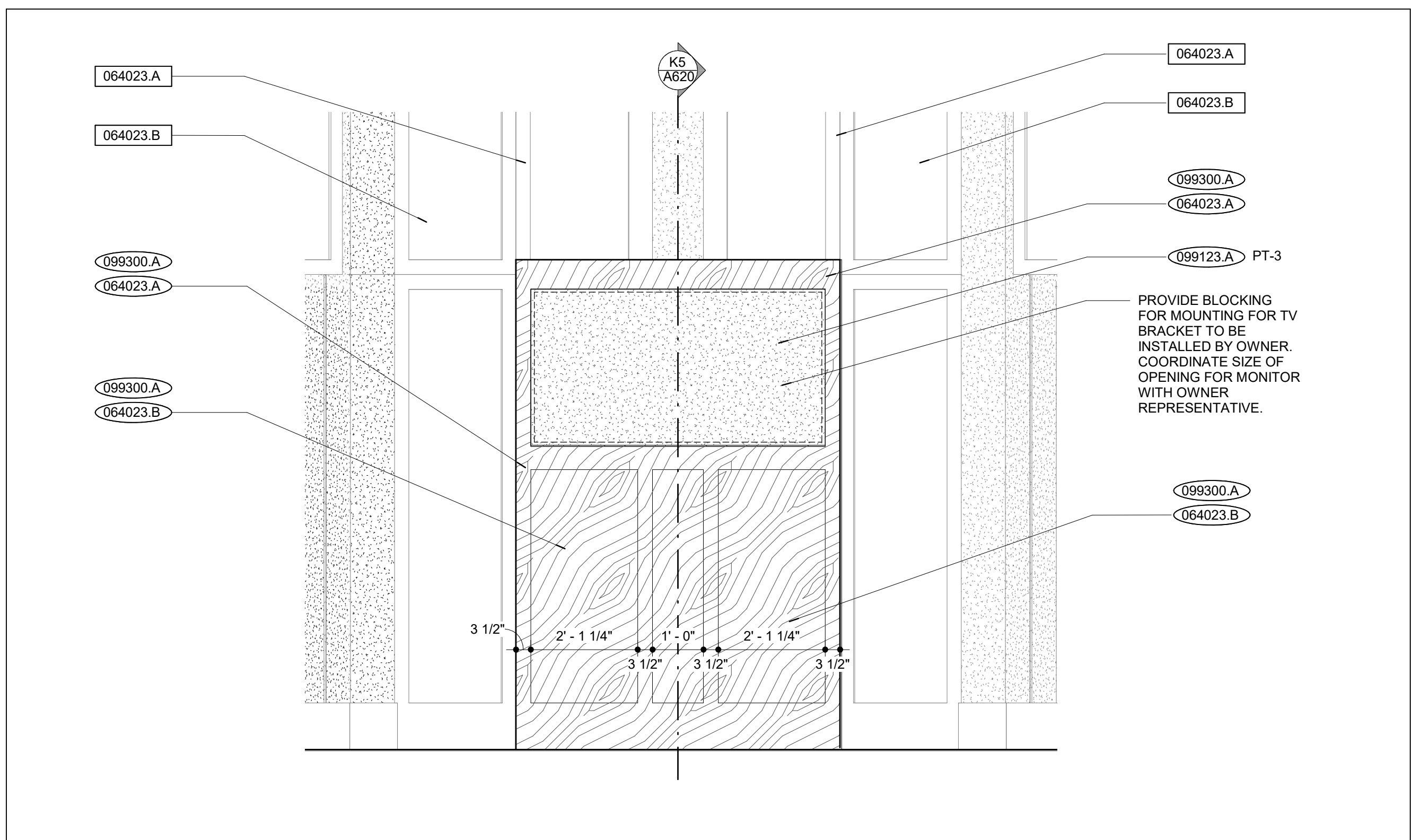
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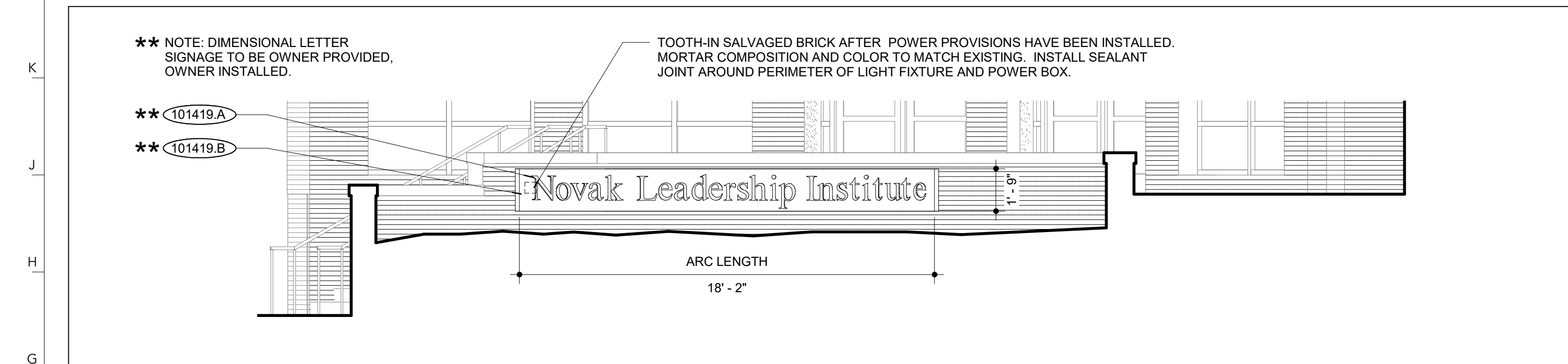
221 S 8th St  
Columbia, MO 65201



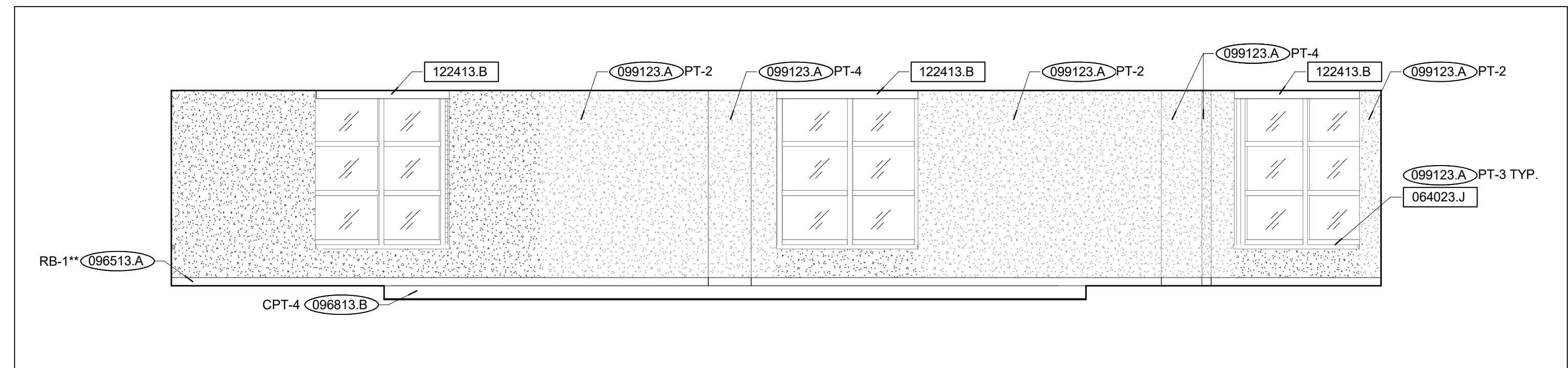
LOBBY - 201 - SW | L19  
SCALE: 1/2" = 1'-0"



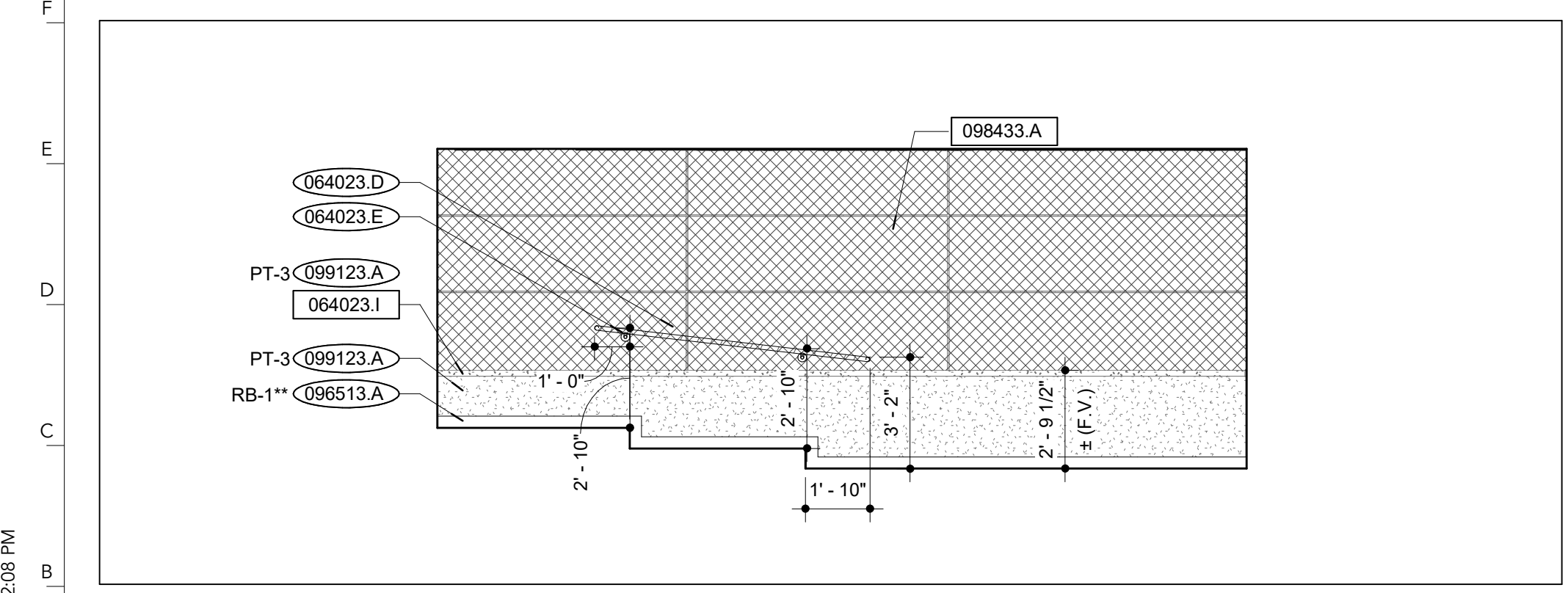
LOBBY - 201 - W | L5  
SCALE: 1/2" = 1'-0"



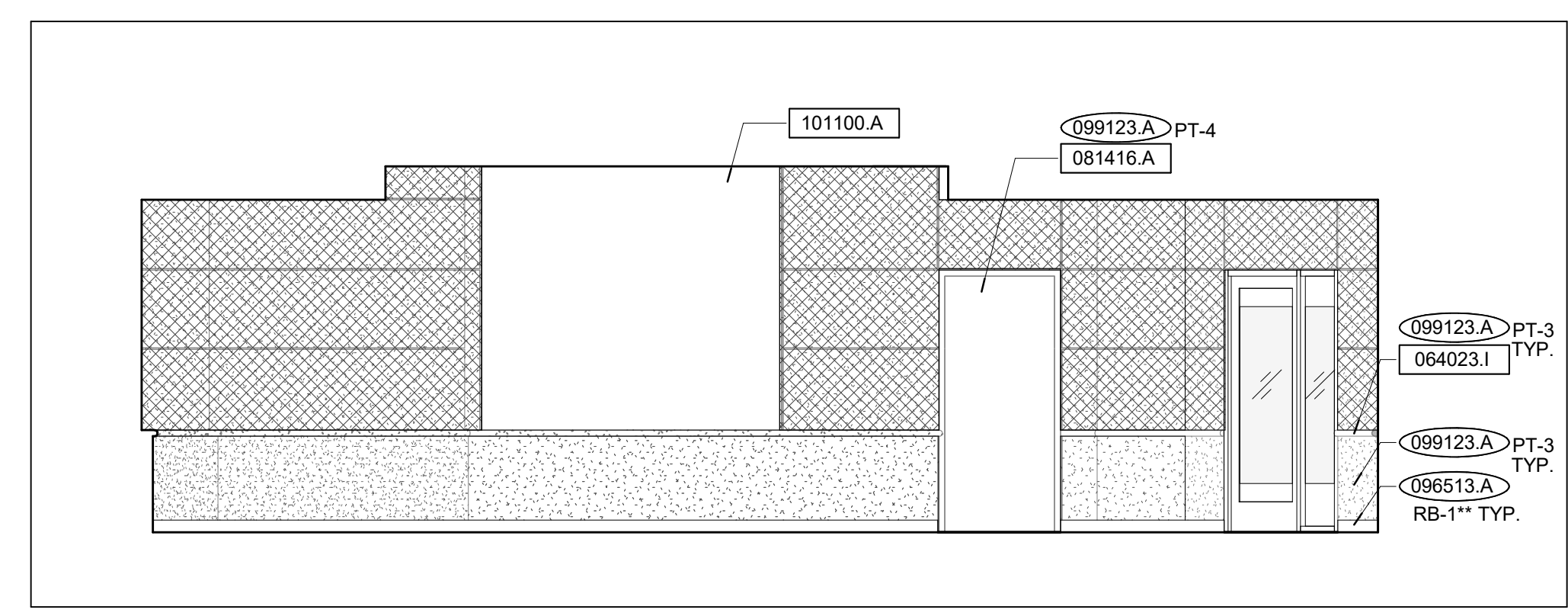
EXTERIOR SIGNAGE | G21  
SCALE: 1/4" = 1'-0"



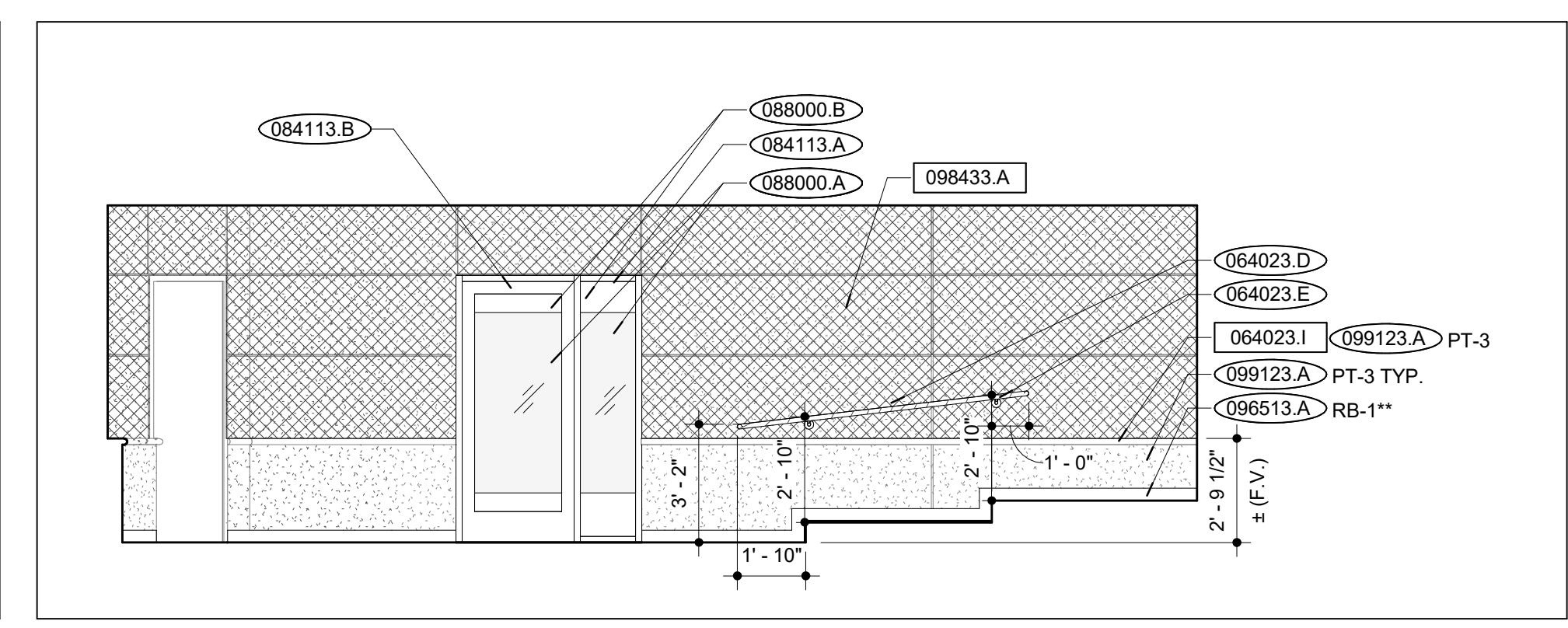
CLASSROOM - 214 - NW | G5  
SCALE: 1/4" = 1'-0"



CLASSROOM - 214 - NE | B26  
SCALE: 1/4" = 1'-0"



CLASSROOM - 214 - SE | B15  
SCALE: 1/4" = 1'-0"



CLASSROOM - 214 - S | B5  
SCALE: 1/4" = 1'-0"

- DIVISION 11 EQUIPMENT**
- DIVISION 12 FURNISHINGS**
- 122413.B POWER OPERATED ROLLER WINDOW SHADE
- DIVISION 14 CONVEYING EQUIPMENT**
- DIVISION 22 PLUMBING**
- DIVISION 23 HVAC**
- DIVISION 26 ELECTRICAL**
- 260000.A INTERIOR LINEAR FEATURE LIGHTING
- DIVISION 31 EARTHWORK**
- DIVISION 32 EXTERIOR IMPROVEMENTS**

DATE: 10/27/2021  
PROJ. NO.: CP220031

DESIGNED BY: AO, JL  
DRAWN BY: AO, JL  
CHECKED BY: JL, MA  
APPROVED BY: MA

SEAL:

10-51-2021  
MAJID AMIRAHMADI - ARCHITECT  
MO#: A-5077

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NO.	REVISION SUBMISSION	DATE
0	ISSUED FOR BID	10/27/2021

INTERIOR ELEVATIONS  
A601

10/22/2021 1:02:08 PM











10/21/2021 11:48:44 AM

VIEW KEY	
<b>LINE TYPE AND TAG KEY:</b>	
NEW WORK BY THIS CONTRACTOR (WIDE LINE)	NEW
----- EXISTING TO BE REMOVED (SHORT DASHED PATTERN)	EXISTING TO BE REMOVED (SHORT DASHED PATTERN)
----- NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)	NEW UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)
EXISTING TO REMAIN OR WORK BY OTHERS (NARROW LINE)	
----- EXISTING	EXISTING
----- EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)	EXISTING TO BE REMOVED BY OTHERS (SHORT DASHED PATTERN)
----- EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)	EXISTING UNDERFLOOR OR UNDERGROUND (LONG DASHED PATTERN)
HALFTONING DOES NOT MODIFY SCOPE.	
TAG-E	TAGS WITH DASH 'E' INDICATES THE REFERENCED OBJECT IS EXISTING
TAG-1	UNDERLINED TAG INDICATES OBJECT IS IN-SCOPE. IF NEW, ADDITIONAL INFORMATION IS AVAILABLE IN A SCHEDULE, MATERIAL LIST, OR SYMBOL LIST
⊕	INDICATES AN EXISTING SYSTEM'S POINT OF CONNECTION/REMOVAL

CONTRACTOR ABBREVIATION KEY	
ABBR:	DESCRIPTION:
A.C.	ASBESTOS ABATEMENT CONTRACTOR
A.V.C.	AUDIO/VISUAL CONTRACTOR
C.C.	CIVIL CONTRACTOR
C.M.	CONSTRUCTION MANAGER
E.C.	ELECTRICAL CONTRACTOR
F.P.C.	FIRE PROTECTION CONTRACTOR
F.S.C.	FOOD SERVICE CONTRACTOR
G.C.	GENERAL CONTRACTOR
H.C.	HEATING CONTRACTOR
M.C.	MECHANICAL CONTRACTOR
N.C.C.	NURSE CALL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
S.C.	SECURITY CONTRACTOR
T.C.	TECHNOLOGY CONTRACTOR
T.C.C.	TEMPERATURE CONTROLS CONTRACTOR
V.C.	VENTILATION CONTRACTOR

MECHANICAL SYMBOL LIST	
NOT ALL SYMBOLS MAY APPLY.	
SYMBOL:	DESCRIPTION:
☒	SUPPLY DIFFUSER
☒	RETURN GRILLE
⊕	THERMOSTAT

FIRE PROTECTION SYMBOL LIST	
NOT ALL SYMBOLS MAY APPLY.	
SYMBOL:	DESCRIPTION:
NO HATCH	LIGHT HAZARD
▶	SPRINKLER - WALL MOUNTED
⊕	SPRINKLER

MECHANICAL ABBREVIATION KEY	
ABBR:	DESCRIPTION:
AD	ACCESS DOOR
AFB	ABOVE FINISHED FLOOR
BFP	BACKFLOW PREVENTER
BT	BATHTUB
C	COMMON
CB	CATCH BASIN
CFSD	CONTROL/FIRE/SMOKE DAMPER
CI	CAST IRON
CO	CLEANOUT
CS	CLINICAL SINK
DB	DIALYSIS BOX
DF	DRINKING FOUNTAIN
DI	DUCTILE IRON
DPG (0-2")	DIFFERENTIAL PRESSURE GAUGE (RANGE)
DPS	DIFFERENTIAL PRESSURE SWITCH
E	EXISTING
EA	EXHAUST/RELIEF AIR
ECFSD	EXISTING CONTROL FIRE SMOKE DAMPER
EE	EMERGENCY EYEWASH
EPD	EXISTING FIRE DAMPER
ESD	EXISTING FIRE SMOKE DAMPER
EP	ELECTRICAL TO PNEUMATIC VALVE
ES	EMERGENCY SHOWER
ESD	EXISTING SMOKE DAMPER
ESE	EMERGENCY SHOWER/EYEWASH
EW	ELECTRIC WATER COOLER
FCO	FLOOR CLEANOUT
FD	FIRE DAMPER
FM	FLOW METER
FOB	FLAT ON BOTTOM
FOT	FLAT ON TOP
FS	FLOOR SINK
FSD	FIRE/SMOKE DAMPER
GD	GARBAGE DISPOSER
GI	GREASE INTERCEPTOR
HB	HOSE BIBB
I.E.	INVERT ELEVATION (FOR REFERENCE ONLY)
LAV	LAVATORY
MA	MIXED AIR
MB	MOP BASIN
MH	MANHOLE
MV	MIXING VALVE
N.C.	NORMALLY CLOSED
NIC	NOT IN CONTRACT
N.O.	NORMALLY OPEN
NT	NEUTRALIZATION TANK
OA	OUTSIDE AIR
OS	OIL SEPARATOR
PS	PRESSURE SWITCH
RA	RETURN AIR
RD	ROOF DRAIN
SA	SUPPLY AIR
SCCR	SHORT CIRCUIT CURRENT RATING
SD	SMOKE DAMPER
SH	SHOWER
SK	SINK
SS	SERVICE SINK
TAB	TERMINAL AIR BOX
TD	TRANSFER DUCT
TP	TRAP PRIMER
TY	TYPICAL
UB	UTILITY BOX
UC-1	DOOR UNDERCUT BY OTHERS (1" TYPICAL)
UON	UNLESS OTHERWISE NOTED
UR	URINAL
VTR	VENT THROUGH ROOF
WC	WATER CLOSET
WCO	WALL CLEANOUT
WF	WASH FOUNTAIN
WH	WATER HEATER
WMF	WASHING MACHINE FIXTURE
WM	WATER METER
WS	WATER SOFTENER
YCO	YARD CLEANOUT

- ### FIRE PROTECTION GENERAL NOTES:
- THE SYMBOLS AND THE MATERIAL LIST ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY QUANTITIES AND FURNISH ALL MATERIALS REQUIRED FOR FULLY OPERATIONAL SYSTEMS, WHETHER SPECIFIED OR NOT.
  - CENTER SPRINKLERS IN CEILING TILES IN BOTH DIRECTIONS IN ALL AREAS. IN AREAS WITH 2'x4' CEILING TILES CENTERING USING A 2'x2' CEILING PATTERN IS ACCEPTABLE. SPRINKLER HEADS SHALL BE ALIGNED WITH OTHER SPRINKLER HEADS, LIGHTING, DIFFUSERS AND ANY OTHER FEATURES IN THE CEILING.
  - NEW SPRINKLERS SHALL BE QUICK RESPONSE TYPE, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOT MIX STANDARD RESPONSE SPRINKLERS WITH QUICK RESPONSE SPRINKLERS IN UNPARTITIONED SPACES.
  - PROVIDE COVERAGE ABOVE AND BELOW ALL DUCTWORK GREATER THAN 48" WIDE.
  - PROVIDE COVERAGE ABOVE (IF APPLICABLE) AND BELOW FLOATING CEILINGS, REFER TO ARCHITECTURAL PLANS.
  - THE FIRE PROTECTION SYSTEM SHALL BE DESIGNED TO MEET OWNER'S INSURANCE COMPANY STANDARDS WHERE APPLICABLE. THE MORE STRINGENT OF THE OWNER'S INSURANCE UNDERWRITERS DESIGN CRITERIA AND THE NFPA STANDARDS SHALL BE USED.
  - ALL BUILDING AREA SHALL BE FULLY SPRINKLERED INCLUDING CANOPIES, WALKWAYS, OVERHANGS, SOFFITS, AND BUILDING PROJECTIONS. ACCESSIBLE COMBUSTIBLE CONCEALED SPACES SHALL BE FULLY PROTECTED BY THE SPRINKLER SYSTEM.
  - WHERE FEASIBLE INSTALL PIPES HIGH AS POSSIBLE TO AVOID CONFLICT WITH OTHER DISCIPLINES.
  - INSTALL SYSTEM DRAINS AT LOW POCKET AREAS CONTAINING FIVE GALLONS OF WATER OR MORE, PROVIDE WITH ISOLATION VALVE AND THREADED HOSE CONNECTION.
  - FINAL HEAD LOCATION, TYPE AND FINISH SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT.
  - THE OWNER MUST BE NOTIFIED PRIOR TO EACH AND EVERY DRAINING OR RECHARGING OF THE SPRINKLER SYSTEM.
  - THE CONTRACTOR SHALL PREPARE A COORDINATED SET OF SHOP DRAWINGS AND SHALL OBTAIN APPROVAL FROM THE AUTHORITIES HAVING JURISDICTION AND THE LOCAL FIRE DEPARTMENT PRIOR TO ANY INSTALLATION.
  - DRAWINGS SHOW LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC. AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
  - VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES.

- ### VENTILATION GENERAL NOTES:
- UNLESS NOTED OTHERWISE, THE SIZE OF EACH BRANCH DUCT TO A TERMINAL AIR BOX (TAB) SHALL MATCH THE INLET SIZE UNLESS THE BRANCH IS GREATER THAN 6FEET IN LENGTH, IN WHICH CASE THE BRANCH DUCT SHALL BE SIZED AT A PRESSURE DROP OF 0.07W.C. PER 100' OF DUCTWORK.
  - UNLESS NOTED OTHERWISE, THE SIZE OF EACH BRANCH DUCT TO AN AIR TERMINAL SHALL MATCH THE INLET SIZE.
  - ALIGN TEMPERATURE SENSORS WITH LIGHT SWITCHES AND WHEN IN CLOSE PROXIMITY TO EACH OTHER.
  - CONTRACTOR MAY REUSE PORTIONS OF EXISTING DUCT PROVIDED SIZES AND PRESSURE CLASSES ARE CORRECT, DUCT IS THOROUGHLY CLEANED AND FREE OF DEFECTS, AND ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS, AND DUCT WALL PENETRATIONS ARE SEALED AS SPECIFIED FOR NEW DUCTWORK.

- ### MECHANICAL GENERAL NOTES:
- THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, FIRE PROTECTION, PLUMBING, MEDICAL GAS, VENTILATION, PIPING AND TEMPERATURE CONTROL.
- DRAWINGS SHOWING LOCATIONS OF EQUIPMENT, DUCTWORK, PIPING, ETC. ARE DIAGRAMMATIC AND MAY NOT ALWAYS REFLECT EXACT INSTALLATION CONDITIONS. DRAWINGS SHOW THE GENERAL ARRANGEMENT OF DUCTWORK, PIPING, EQUIPMENT, ETC. AND MAY NOT INCLUDE ALL OFFSETS AND FITTINGS REQUIRED FOR COMPLETE INSTALLATION. THE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHERS WILL PERMIT.
  - DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CLEARANCES FROM ARCHITECTURAL, STRUCTURAL, SUBMITTALS, AND OTHER APPROPRIATE DRAWINGS OR PHYSICALLY AT SITE. REVIEW ALL DRAWINGS, INCLUDING THOSE OF OTHER TRADES. COORDINATE ALL WORK WITH ALL OTHER TRADES PRIOR TO INSTALLATION TO PROVIDE CLEARANCES REQUIRED FOR OPERATION, MAINTENANCE, CODE COMPLIANCE, AND TO VERIFY NON-INTERFERENCE WITH OTHER WORK. DO NOT FABRICATE PRIOR TO VERIFICATION OF NECESSARY CLEARANCES FOR ALL TRADES. BRING ANY INTERFERENCES OR CONFLICTS TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH FABRICATION OR EQUIPMENT ORDERS.
  - ANY CHANGES REQUIRED TO ELIMINATE CONFLICTS OR THAT RESULT FROM A FAILURE TO COORDINATE SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR EXPENSE TO OTHERS.
  - REFER TO ARCHITECTURAL REFLECTED CEILING PLAN, ELECTRICAL, TECHNOLOGY AUDIO/VISUAL, AND OTHER MECHANICAL PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES, OTHER THAN SPRINKLERS.
  - EACH CONTRACTOR IS RESPONSIBLE FOR DAMAGE CAUSED BY THEIR ACTIONS TO WALLS, FLOORS, CEILINGS, AND ROOFS. THE CONTRACTOR WHOSE WORK CAUSES DAMAGE IS RESPONSIBLE FOR PATCHING TO MATCH ORIGINAL CONSTRUCTION, FIRE RATING, AND FINISH.
  - IN AREAS WITH DRYWALL CEILINGS COORDINATE LOCATIONS OF ACCESS PANELS WITH THE GC FOR ACCESS TO VALVES, DUCTWORK ACCESSORIES, DAMPERS, ETC. COORDINATE PANEL TYPE AND COLOR WITH ARCHITECT. NOTIFY THE GC OF THE REQUIRED ACCESS PANELS PRIOR TO BIDDING.
  - SEAL ALL WALL PENETRATIONS AIRTIGHT WHERE CONDUITS, PIPING, AND DUCTS PENETRATE.
  - CAULK ALL PIPE AND DUCT PENETRATIONS OF FULL HEIGHT NON-FIRE RATED WALL, PARTITION, FLOOR, AND ROOF ASSEMBLIES. THIS IS ESSENTIAL TO PREVENT NOISE TRANSMISSION FROM ONE ROOM TO ANOTHER AND TO PROVIDE THE DESIRED NC LEVELS WITHIN ROOMS.
  - DO NOT SUPPORT EQUIPMENT, PIPING, OR DUCTWORK FROM METAL DECKING OR OTHER NON-STRUCTURAL BUILDING ELEMENTS. ANCHORS EMBEDDED IN CONCRETE SHALL BE APPROVED IN ACCORDANCE WITH SPECIFICATIONS.

- ### MECHANICAL RENOVATION NOTES:
- THESE NOTES APPLY TO ALL MECHANICAL SHEETS AND TRADES, INCLUDING BUT NOT LIMITED TO, FIRE PROTECTION, PLUMBING, MEDICAL GAS, VENTILATION, PIPING AND TEMPERATURE CONTROL.
- EXISTING CONDITIONS ARE SHOWN BASED ON INFORMATION OBTAINED FROM FIELD SURVEYS, EXISTING BUILDING DOCUMENTS, AND STAFF. VERIFY EXISTING CONDITIONS AND REPORT ANY CONFLICTS BEFORE PROCEEDING.
  - NOT ALL EXISTING DUCTWORK AND PIPING IS SHOWN. VERIFY EXISTING CONDITIONS BEFORE STARTING WORK. NOTIFY ENGINEER OF ANY CONFLICTS WITH NEW WORK.
  - FIELD VERIFY THE AVAILABLE CLEARANCES FOR DUCTWORK AND PIPING BEFORE FABRICATION, RISES AND DROPS MAY BE NECESSARY BECAUSE OF EXISTING FIELD CONDITIONS.
  - EACH CONTRACTOR SHALL FIELD VERIFY ACCESSIBILITY TO THE AREA OF THEIR WORK AND SHALL NOTIFY THE GENERAL CONTRACTOR PRIOR TO BIDDING IF OTHER UTILITIES ARE REQUIRED TO BE REMOVED OR RELOCATED TO ALLOW ACCESS TO THEIR AREA OF WORK.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CUTTING, REMOVAL AND PATCHING OF ROOFS, WALLS, AND FLOORS ASSOCIATED WITH WORK BY ALL CONTRACTORS. CONTRACTORS SHALL NOTIFY THE GC OF AFFECTED AREAS PRIOR TO BIDDING (EACH CONTRACTOR SHALL CUT AND PATCH ROOFS, WALLS, AND FLOORS ASSOCIATED WITH THEIR WORK).
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF CEILINGS, CEILING TILES, AND CEILING GRIDS ASSOCIATED WITH AREAS OF WORK BY ALL CONTRACTORS. NOTIFY THE GENERAL CONTRACTOR OF AFFECTED AREAS PRIOR TO BIDDING.
  - WHERE EXISTING MECHANICAL SYSTEMS ARE LOCATED IN AREAS THAT CONFLICT WITH NEW EQUIPMENT, PIPING, OR DUCTWORK TO BE INSTALLED, EACH CONTRACTOR SHALL EITHER ARRANGE NEW EQUIPMENT, PIPING, OR DUCTWORK IN SUCH A FASHION THAT IT DOES NOT CONFLICT WITH EXISTING SYSTEMS, OR REMOVE EXISTING MECHANICAL SYSTEMS TO ALLOW FOR INSTALLATION OF NEW EQUIPMENT, PIPING, OR DUCTWORK.
  - PROVIDE TEMPORARY CONNECTIONS TO MAINTAIN EXISTING SYSTEMS IN SERVICE DURING CONSTRUCTION. MAINTAIN ACCESS TO EXISTING MECHANICAL INSTALLATIONS THAT REMAIN ACTIVE.
  - OBTAIN PERMISSION FROM OWNER BEFORE SHUTTING DOWN ANY SYSTEM FOR ANY REASON. MAINTAIN SERVICE TO ALL COMPONENTS THAT ARE TO REMAIN UNTIL NEW SYSTEMS ARE INSTALLED.
  - MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS COMPLETE AND READY FOR THE IN AND SWITCHOVER. DRAIN SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. OBTAIN PERMISSION FROM OWNER BEFORE PARTIALLY OR COMPLETELY DRAINING SYSTEM. MAKE CHANGEOVER TO NEW SYSTEMS WITH MINIMUM OUTAGE.

MECHANICAL SHEET INDEX	
FM000	FIRE PROTECTION & MECH. COVERSHEET
FM100	2ND FLOOR FIRE PROT. & MECH. PLAN
GRAND TOTAL: 2	

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DATE:	10/27/2021
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DESIGNED BY:	SGB
DRAWN BY:	SGB
CHECKED BY:	SGB
APPROVED BY:	SGB

SEAL:

PHILLIP I. PARRA - ENGINEER  
 MCR: E-28366

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**FIRE PROTECTION &  
MECH. COVERSHEET**

**FM000**





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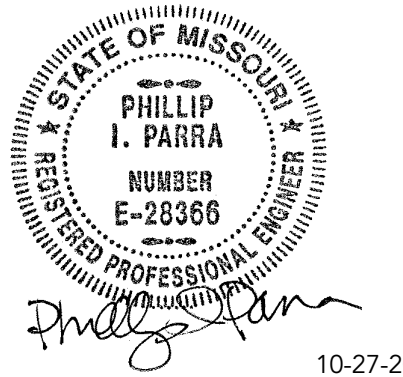
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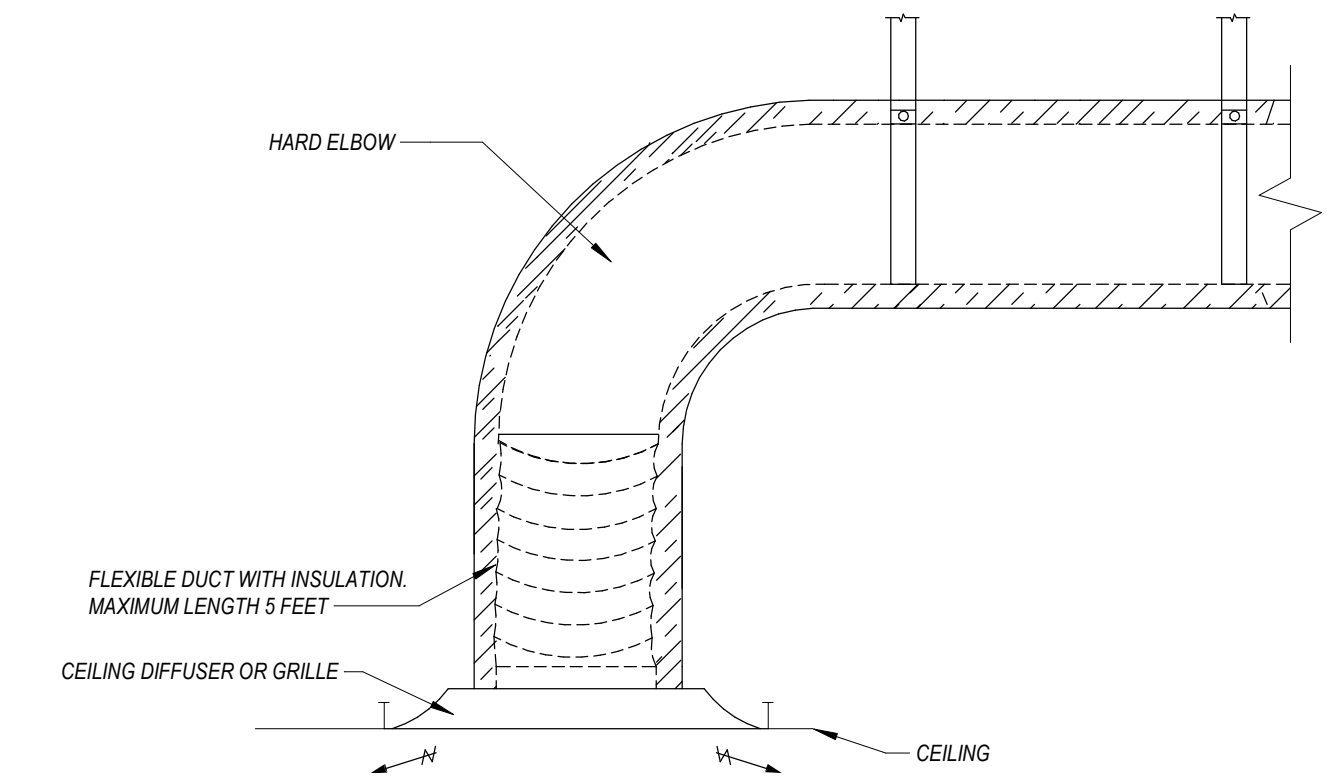
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2ND FLOOR FIRE  
 PROT. & MECH. PLAN

FM100



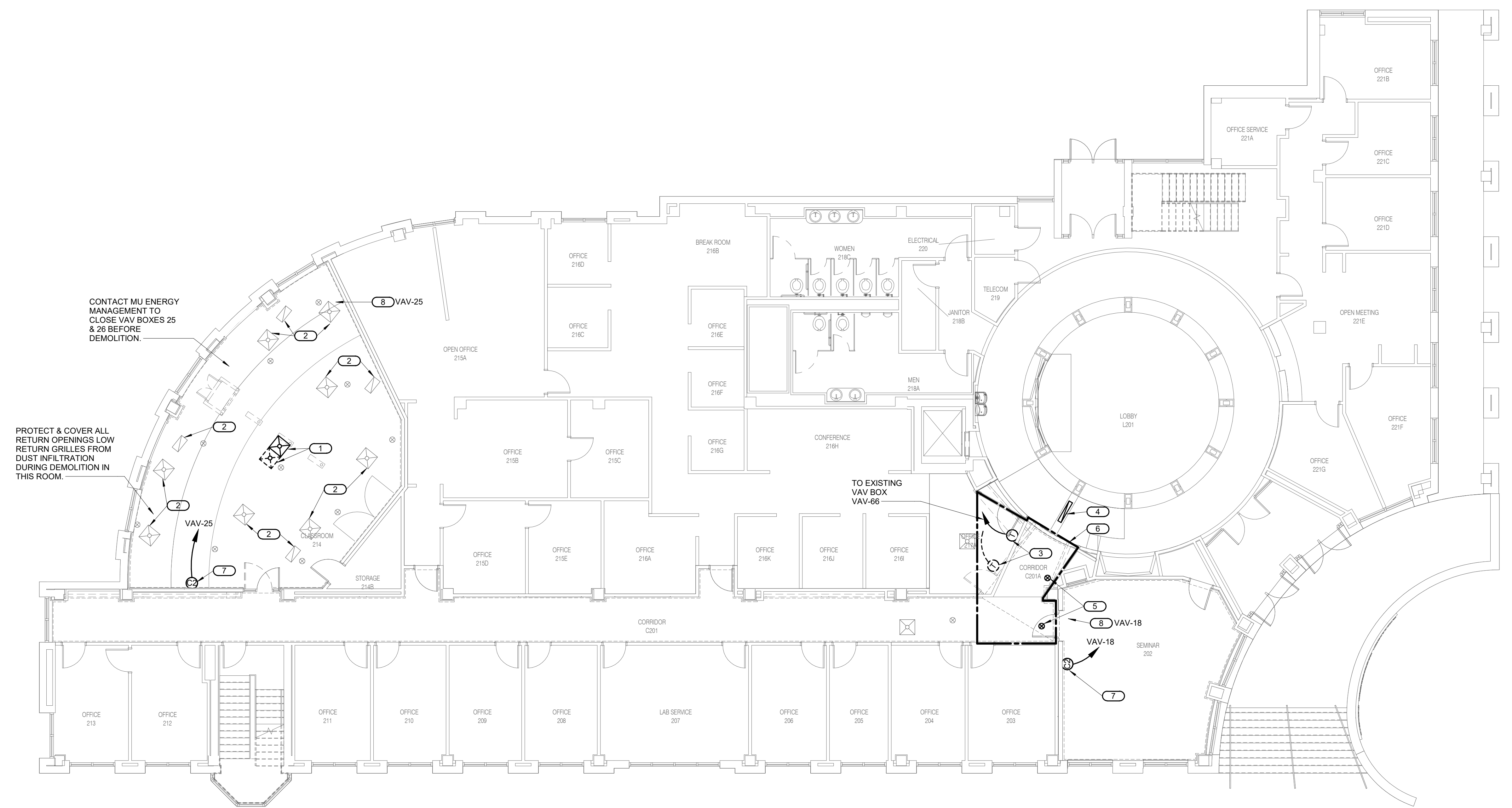
SUPPLY DIFFUSER CONNECTION DETAIL IW5  
 SCALE: N.T.S.

**SHEET NOTES:**

- COORDINATE WITH EXISTING CONDITIONS AND OTHER TRADES BEFORE ROUTING AND FABRICATION.
- SYSTEM SHUTDOWNS SHALL BE MINIMIZED AND SHALL BE COORDINATED WITH THE OWNER A MINIMUM OF 2 WEEKS BEFORE PLANNED SHUTDOWNS.

**KEYNOTES:**

- DISCONNECT, REMOVE, CLEAN AND RELOCATE EXISTING DIFFUSER WHERE SHOWN. DIFFUSER CONNECTION SHALL BE HARD DUCTED.
- DISCONNECT, REMOVE, CLEAN AND REINSTALL EXISTING GRILLE OR DIFFUSER.
- RELOCATE EXISTING THERMOSTAT. EXACT LOCATION AS DIRECTED BY ARCHITECT. CONTACT MU ENERGY MANAGEMENT TO DISCONNECT AND RECONNECT THERMOSTAT. COORDINATE W/ ELECTRICAL CONTRACTOR TO REPLACE EXISTING WIRING IF WIRING IS NOT LONG ENOUGH TO CONNECT TO VAV BOX WITHOUT SPLICES. TERMINATION AT VAV BOX CONTROLLER BY MU EM. WIRING TO BE PROVIDED BY MECHANICAL CONTRACTOR.
- DISCONNECT, REMOVE, CLEAN AND REINSTALL EXISTING LINEAR RETURN GRILLE.
- DISCONNECT AND REMOVE EXISTING SPRINKLER HEADS.
- REWORK EXISTING SPRINKLER SYSTEM AS REQUIRED FOR NEW ROOM LAYOUTS AND CEILINGS. COVERAGE SHALL MEET NFPA13 LIGHT HAZARD CLASSIFICATION. ALL REVISED HEAD LOCATIONS SHALL BE NEW QUICK RESPONSE SPRINKLERS. HEADS IN LAY-IN CEILINGS SHALL BE SATIN CHROME SEMI-RECESSED AND CONCEALED HEADS IN HARD CEILINGS, CUSTOM COLOR AS DIRECTED BY ARCHITECT.
- MU EM TO FURNISH & INSTALL NEW CO2 SENSOR ADJACENT TO EXISTING THERMOSTAT. EXACT LOCATION AS DIRECTED BY ARCHITECT. COORDINATE W/ ELECTRICAL CONTRACTOR TO WIRE TO VAV BOX NOTED ON DRAWING WITH NO SPLICES. TERMINATION AT VAV BOX CONTROLLER BY MU EM. WIRING TO BE PROVIDED BY MECHANICAL CONTRACTOR.
- COORDINATE W/ ELECTRICAL CONTRACTOR TO WIRE NEW CEILING MOUNTED OCCUPANCY SENSOR TO VAV BOX NOTED ON DRAWING WITH NO SPLICES. OCCUPANCY SENSOR FURNISHED AND INSTALLED UNDER DIVISION 26. TERMINATION AT VAV BOX CONTROLLER BY MU EM. WIRING TO BE PROVIDED BY MECHANICAL CONTRACTOR.



2ND FLOOR FIRE PROTECTION AND MECHANICAL PLAN | B5 PLAN NOTES | D1  
 SCALE: 1/8" = 1'-0"









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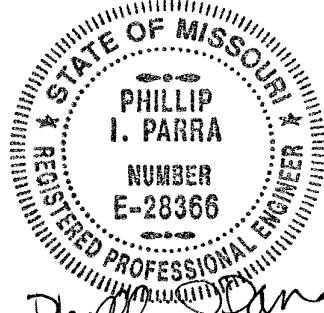
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CHECKED BY: PIP  
APPROVED BY: PIP

SEAL:



10-27-2021

PHILLIP I. PARRA - ENGINEER

MO: E-28366

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2ND FLOOR LIGHTING DEMOLITION PLAN  
ELD100

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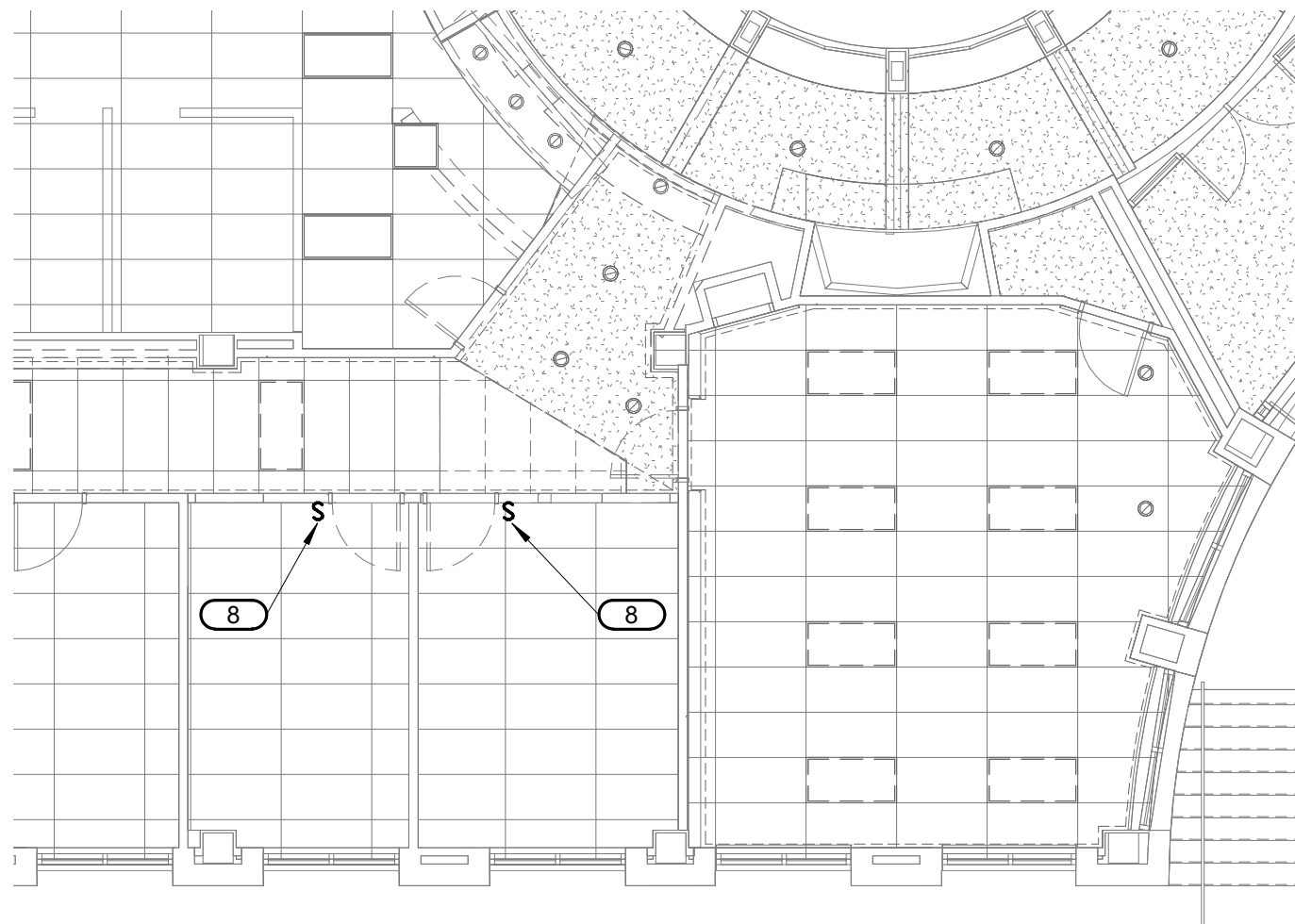
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**SHEET NOTES:**

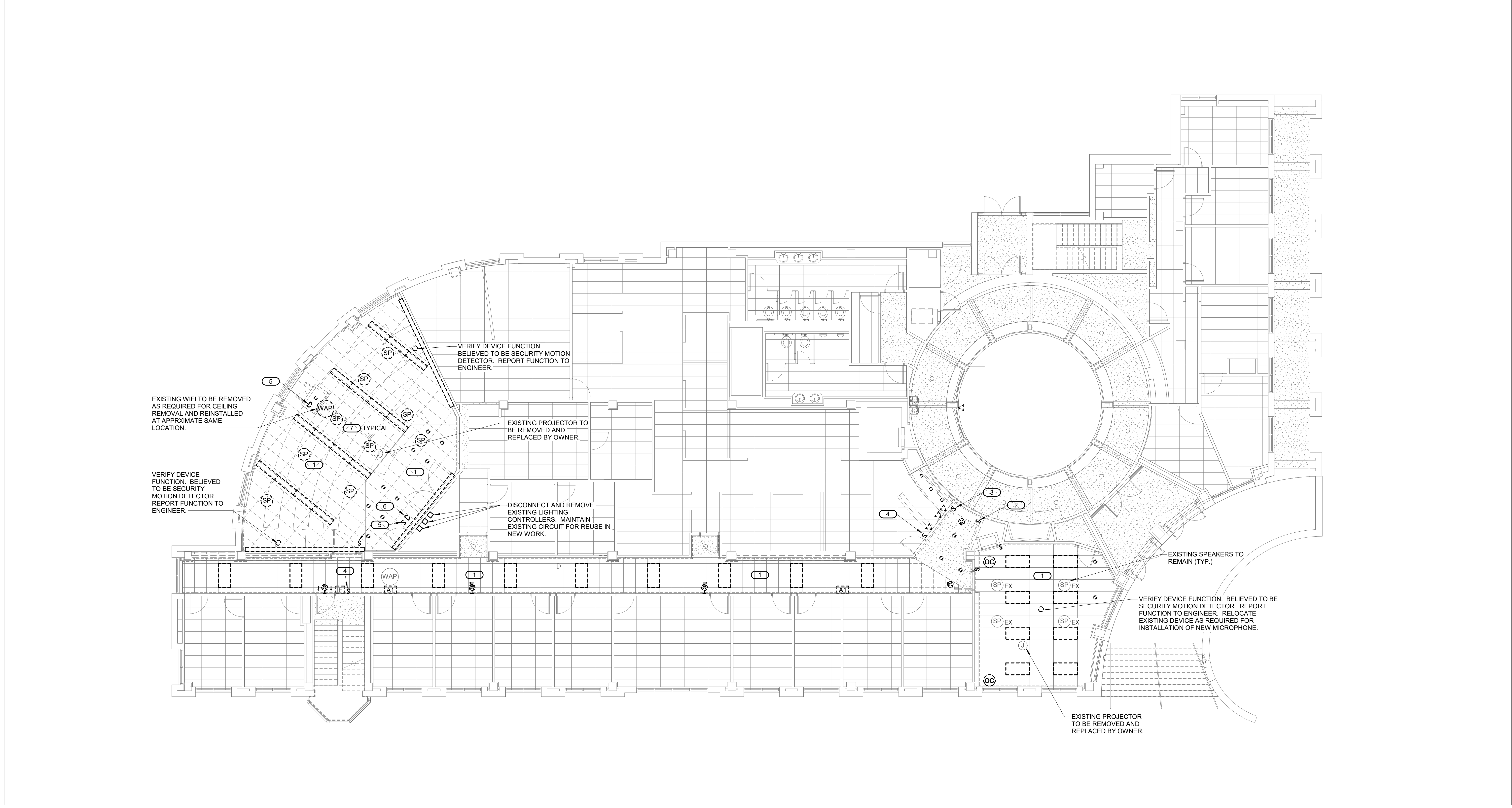
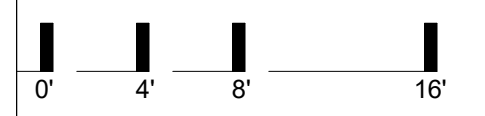
- REFER TO SHEET E000 FOR GENERAL NOTES. NOT ALL GENERAL NOTES SHALL APPLY TO THIS SHEET.
- DISCONNECT AND REMOVE ALL EXISTING CONDUIT AND WIRE NOT REQUIRED TO REMAIN TO SERVE A LOAD.

**KEYNOTES:** (B)

- DISCONNECT AND REMOVE ALL LIGHT FIXTURES, CONTROLS AND EXIT SIGNS. MAINTAIN WIRE AND CONDUIT FOR CONNECTION TO NEW LIGHT FIXTURES. ADAPT AND MODIFY CONDUIT AND WIRE AS REQUIRED FOR EXTENSION AND CONNECTION TO NEW LIGHT FIXTURES.
- DISCONNECT AND REMOVE FIVE(5) EXISTING LIGHT SWITCHES. SWITCHES SHALL BE RELOCATED TO NEW WALL. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AND WIRE AS REQUIRED TO INSTALL SWITCHES AS SHOWN ON NEW WORK PLAN. ANY NEW JUNCTION BOX(S) REQUIRED SHALL BE INSTALLED IN ACCESSIBLE CEILING AREAS.
- DISCONNECT AND REMOVE TWO(2) EXISTING LIGHT SWITCHES. SWITCHES SHALL BE RELOCATED TO NEW WALL. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AND WIRE AS REQUIRED TO INSTALL SWITCHES AS SHOWN ON NEW WORK PLAN. ANY NEW JUNCTION BOX(S) REQUIRED SHALL BE INSTALLED IN ACCESSIBLE CEILING AREAS.
- DISCONNECT AND REMOVE ONE(1) EXISTING LIGHT SWITCHES. SWITCHES SHALL BE RELOCATED TO NEW WALL. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AND WIRE AS REQUIRED TO INSTALL SWITCHES AS SHOWN ON NEW WORK PLAN. ANY NEW JUNCTION BOX(S) REQUIRED SHALL BE INSTALLED IN ACCESSIBLE CEILING AREAS.
- DISCONNECT AND REMOVE EXISTING SWITCH AND ALL ASSOCIATED CONDUIT AND WIRE NOT REQUIRED TO REMAIN.
- DISCONNECT AND REMOVE EXISTING DIMMER CONTROL. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AND WIRE AS REQUIRED TO INSTALL NEW SWITCHES AS SHOWN ON NEW WORK PLAN.
- REMOVE EXISTING SPEAKERS AS REQUIRED FOR INSTALLATION OF NEW CEILING TILE AND NEW LIGHT FIXTURES (TYPICAL).
- DISCONNECT AND REMOVE EXISTING LIGHT SWITCH AND ASSOCIATED CONDUIT BOXES AND WIRING AS REQUIRED TO RELOCATE DOOR.



1 ALT BID #2 LIGHTING PLAN | U5  
SCALE: 1/8" = 1'-0"



1 2ND FLOOR LIGHTING DEMOLITION PLAN | B5 PLAN NOTES | A1  
SCALE: 1/8" = 1'-0"



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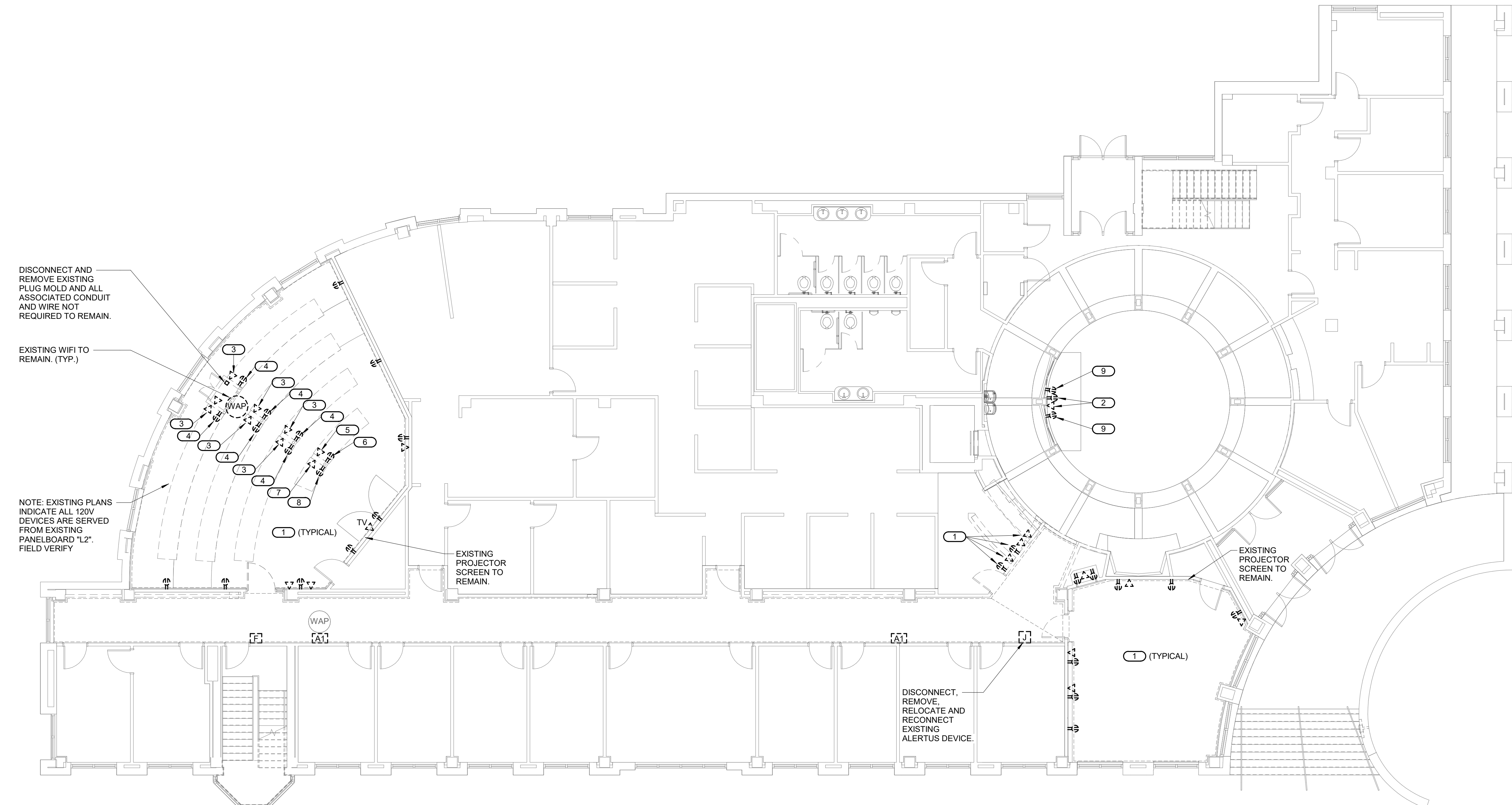
2ND FLOOR  
 POWER/SYSTEMS  
 DEMOLITION PLAN  
 EPD100

**SHEET NOTES:**

- REFER TO SHEET E000 FOR GENERAL NOTES. NOT ALL GENERAL NOTES SHALL APPLY TO THIS SHEET.
- DISCONNECT AND REMOVE ALL EXISTING CONDUIT AND WIRE NOT REQUIRED TO REMAIN TO SERVE A LOAD.

**KEYNOTES:** [Symbol]

- DISCONNECT AND REMOVE EXISTING CONVENIENCE RECEPTACLES SHOWN. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AND WIRE AS REQUIRED TO INSTALL NEW DEVICES AS SHOWN ON NEW WORK PLANS. DISCONNECT AND REMOVE EXISTING LOW VOLTAGE CABLING. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AS REQUIRED TO INSTALL NEW DEVICES AS SHOWN ON NEW WORK PLAN.
- DISCONNECT AND REMOVE EXISTING DEVICES PRESENTLY INSTALLED BEHIND EXISTING MONITOR AS REQUIRED TO INSTALL NEW FINISHES. MAINTAIN EXISTING POWER WIRING AS REQUIRED FOR CONNECTION TO NEW DEVICE IN CASEWORK. DISCONNECT AND REMOVE EXISTING LOW VOLTAGE CABLING. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AS REQUIRED TO INSTALL NEW DEVICES AS SHOWN ON NEW WORK PLAN.
- DISCONNECT AND REMOVE THREE EXISTING IT OUTLETS AND ASSOCIATED WIRING. REMOVE, ADAPT, MODIFY EXISTING CONDUIT AS REQUIRED TO INSTALL NEW FLOOR FINISH.
- DISCONNECT AND REMOVE THREE EXISTING CONVENIENCE OUTLETS AND ASSOCIATED WIRING. MAINTAIN EXISTING CONDUIT FOR RECONNECTION TO NEW SYSTEMS FURNITURE. REMOVE, ADAPT, MODIFY, EXTEND EXISTING CONDUIT AS REQUIRED TO MAKE NEW CONNECTIONS TO NEW SYSTEMS FURNITURE. COORDINATE EXACT ROUGH-IN LOCATION WITH SYSTEMS FURNITURE SUPPLIER.
- DISCONNECT AND REMOVE TWO EXISTING IT OUTLETS AND ASSOCIATED WIRING. REMOVE, ADAPT, MODIFY EXISTING CONDUIT AS REQUIRED TO INSTALL NEW FLOOR FINISH.
- DISCONNECT AND REMOVE TWO EXISTING CONVENIENCE OUTLETS AND ASSOCIATED WIRING. REMOVE, ADAPT, MODIFY EXISTING CONDUIT AS REQUIRED TO INSTALL NEW FLOOR FINISH.
- DISCONNECT AND REMOVE ONE EXISTING IT OUTLET AND ASSOCIATED CONDUIT AND WIRING. REMOVE, ADAPT, MODIFY EXISTING CONDUIT AS REQUIRED TO INSTALL NEW FLOOR FINISH.
- DISCONNECT AND REMOVE ONE EXISTING FOURPLEX OUTLET AND ASSOCIATED OUTLET AND ASSOCIATED WIRING. REMOVE, ADAPT, MODIFY EXISTING CONDUIT AS REQUIRED TO INSTALL FLOOR FINISH.
- DISCONNECT AND REMOVE EXISTING CONVENIENCE RECEPTACLES PRESENTLY INSTALLED AT APPROX 18" AFF.



2ND FLOOR POWER/SYSTEMS DEMOLITION PLAN | B5  
 SCALE: 1/8" = 1'-0"

PLAN NOTES | D1





FOR THE CURATORS OF  
 THE UNIVERSITY OF MISSOURI

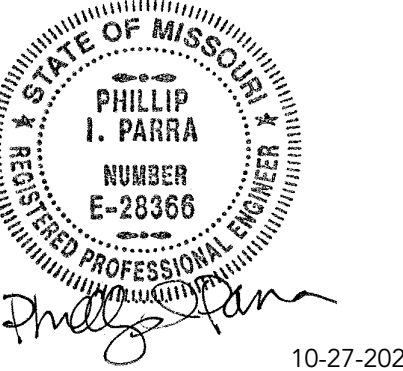
LEE HILLS HALL -  
 RENOVATE  
 SPACES FOR  
 NOVAK  
 LEADERSHIP  
 INSTITUTE  
 THE UNIVERSITY OF  
 MISSOURI

ISSUED FOR BID

221 S 8th St  
 Columbia, MO 65201

DATE: 10/27/2021  
 PROJ. NO.: CP220031  
 DESIGNED BY: PIP  
 DRAWN BY: PIP  
 CHECKED BY: PIP  
 APPROVED BY: PIP

SEAL:



PHILLIP I. PARRA - ENGINEER  
 MO#: E-28366  
 The Professional Engineer's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments, or other documents not exhibiting this seal shall not be considered prepared by this engineer, and this engineer expressly disclaims any and all responsibility for such plans, drawings, or documents not exhibiting this seal.

NO.	REVISION	SUBMISSION	DATE
0	ISSUED FOR BID		10/27/2021

2ND FLOOR  
 LIGHTING PLAN

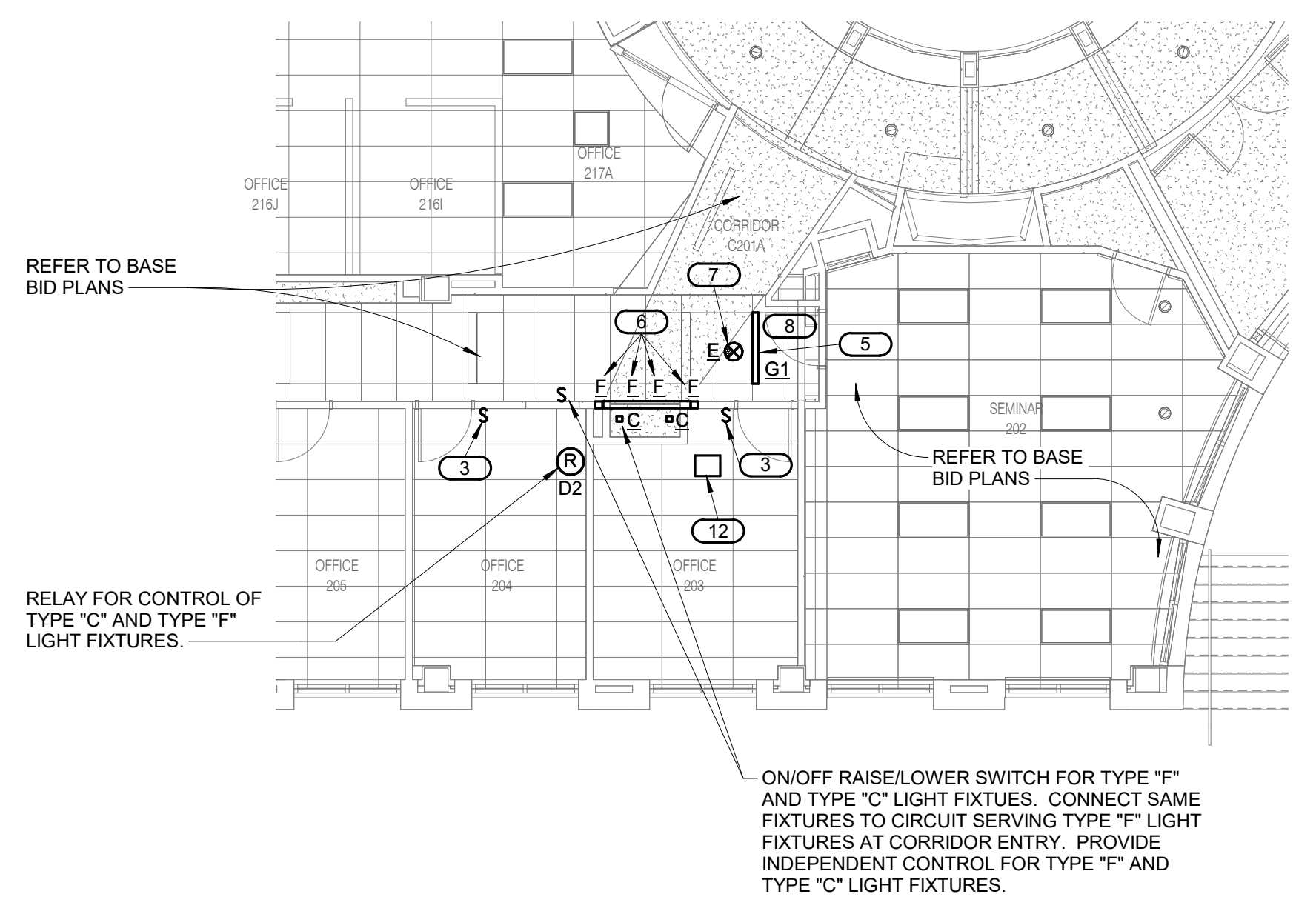
EL100

**SHEET NOTES:**

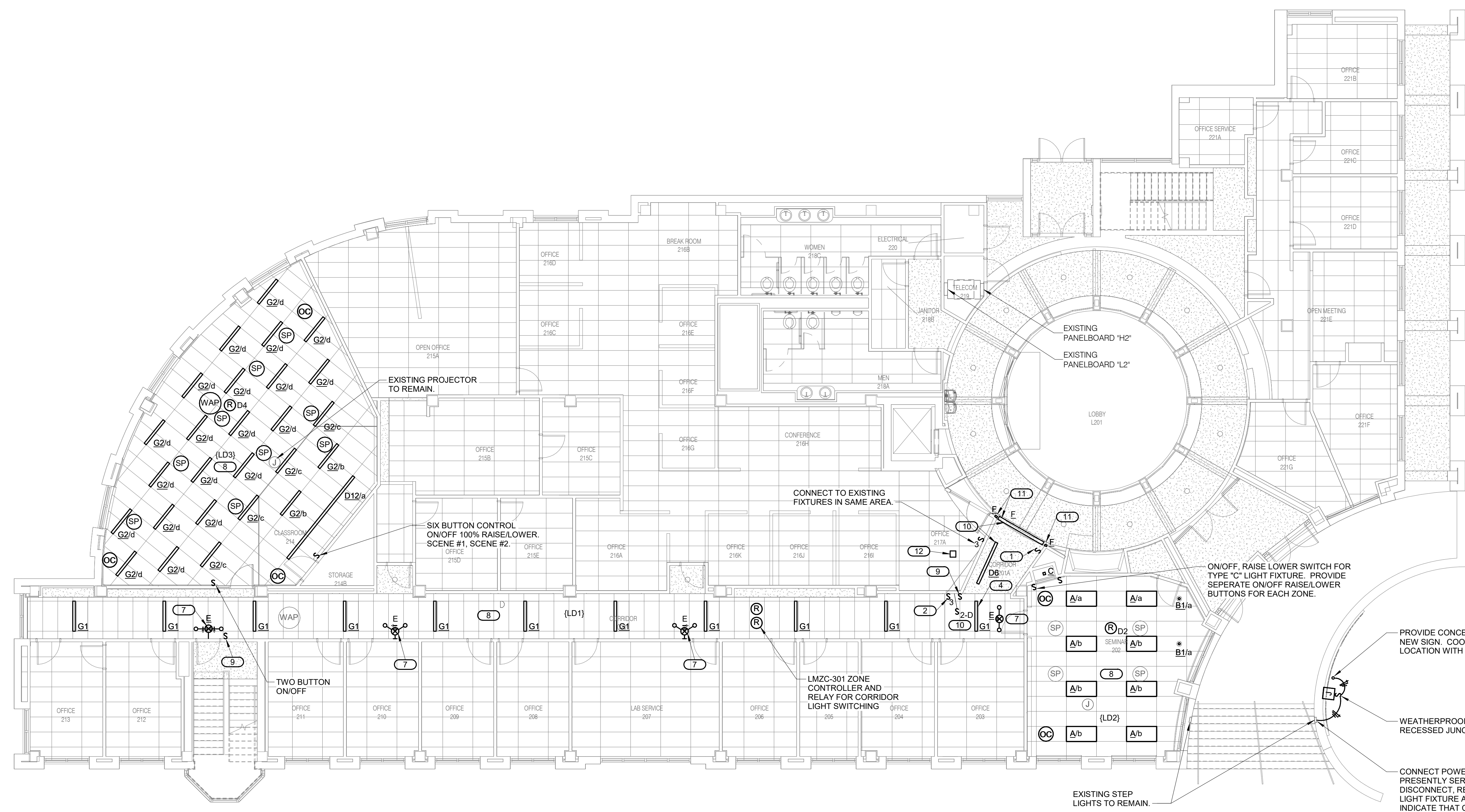
- REFER TO SHEET E000 FOR GENERAL NOTES. NOT ALL GENERAL NOTES SHALL APPLY TO THIS SHEET.
- ALL WORK SHOWN IN BASE BID UNLESS NOTED OTHERWISE.

**KEYNOTES:** (U)

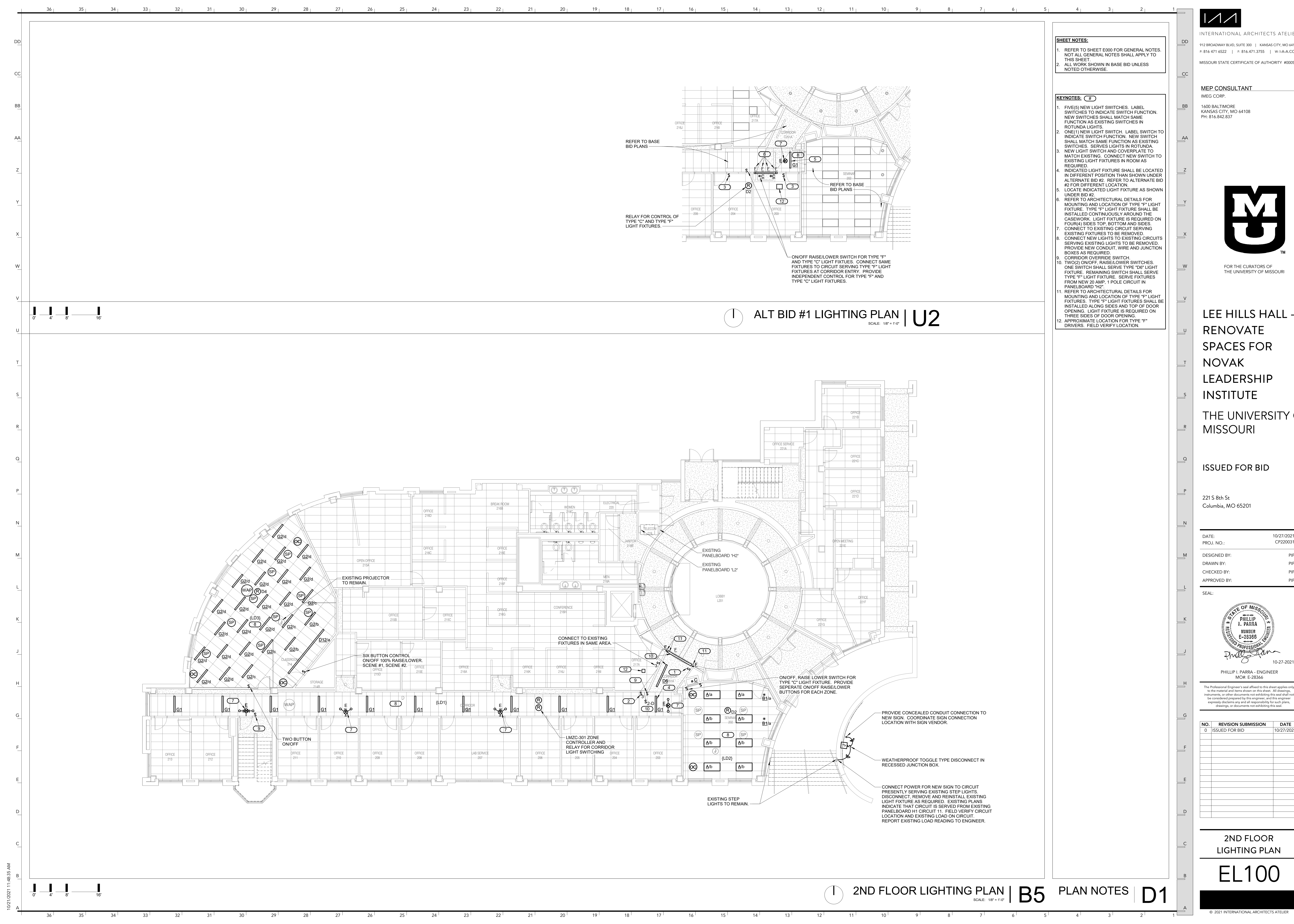
- FIVE(5) NEW LIGHT SWITCHES. LABEL SWITCHES TO INDICATE SWITCH FUNCTION. NEW SWITCHES SHALL MATCH SAME FUNCTION AS EXISTING SWITCHES IN ROTUNDA LIGHTS.
- ONE(1) NEW LIGHT SWITCH. LABEL SWITCH TO INDICATE SWITCH FUNCTION. NEW SWITCH SHALL MATCH SAME FUNCTION AS EXISTING SWITCHES. SERVES LIGHTS IN ROTUNDA.
- NEW LIGHT SWITCH AND COVERPLATE TO MATCH EXISTING. CONNECT NEW SWITCH TO EXISTING LIGHT FIXTURES IN ROOM AS REQUIRED.
- INDICATED LIGHT FIXTURE SHALL BE LOCATED IN DIFFERENT POSITION THAN SHOWN UNDER ALTERNATE BID #2. REFER TO ALTERNATE BID #2 FOR DIFFERENT LOCATION.
- LOCATE INDICATED LIGHT FIXTURE AS SHOWN UNDER BID #2.
- REFER TO ARCHITECTURAL DETAILS FOR MOUNTING AND LOCATION OF TYPE "F" LIGHT FIXTURE. TYPE "F" LIGHT FIXTURE SHALL BE INSTALLED CONTINUOUSLY AROUND THE CASEWORK. LIGHT FIXTURE IS REQUIRED ON FOUR(4) SIDES TOP, BOTTOM AND SIDES.
- CONNECT TO EXISTING CIRCUIT SERVING EXISTING FIXTURES TO BE REMOVED.
- CONNECT NEW LIGHTS TO EXISTING CIRCUITS SERVING EXISTING LIGHTS TO BE REMOVED. PROVIDE NEW CONDUIT, WIRE AND JUNCTION BOXES AS REQUIRED.
- CORRIDOR OVERRIDE SWITCH.
- TWO(2) ON/OFF, RAISE/LOWER SWITCHES. ONE SWITCH SHALL SERVE TYPE "D6" LIGHT FIXTURE. REMAINING SWITCH SHALL SERVE TYPE "F" LIGHT FIXTURE. SERVE FIXTURES FROM NEW 20 AMP, 1 POLE CIRCUIT IN PANELBOARD "42".
- REFER TO ARCHITECTURAL DETAILS FOR MOUNTING AND LOCATION OF TYPE "F" LIGHT FIXTURES. TYPE "F" LIGHT FIXTURES SHALL BE INSTALLED ALONG SIDES AND TOP OF DOOR OPENING. LIGHT FIXTURE IS REQUIRED ON THREE SIDES OF DOOR OPENING.
- APPROXIMATE LOCATION FOR TYPE "F" DRIVERS. FIELD VERIFY LOCATION.



1 ALT BID #1 LIGHTING PLAN | U2  
 SCALE: 1/8" = 1'-0"



2ND FLOOR LIGHTING PLAN | B5 PLAN NOTES | D1  
 SCALE: 1/8" = 1'-0"



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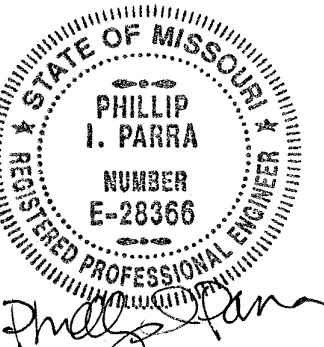
THE UNIVERSITY OF MISSOURI

ISSUED FOR BID

221 S 8th St, Columbia, MO 65201

DATE: 10/27/2021
PROJ. NO.: CP220031
DESIGNED BY: ESA
DRAWN BY: ESA
CHECKED BY: PIP
APPROVED BY: PIP

SEAL:



10-27-2021

PHILLIP I. PARRA - ENGINEER
MOR: E-28366

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Table with 3 columns: NO., REVISION SUBMISSION, DATE. Row 0: ISSUED FOR BID, 10/27/2021

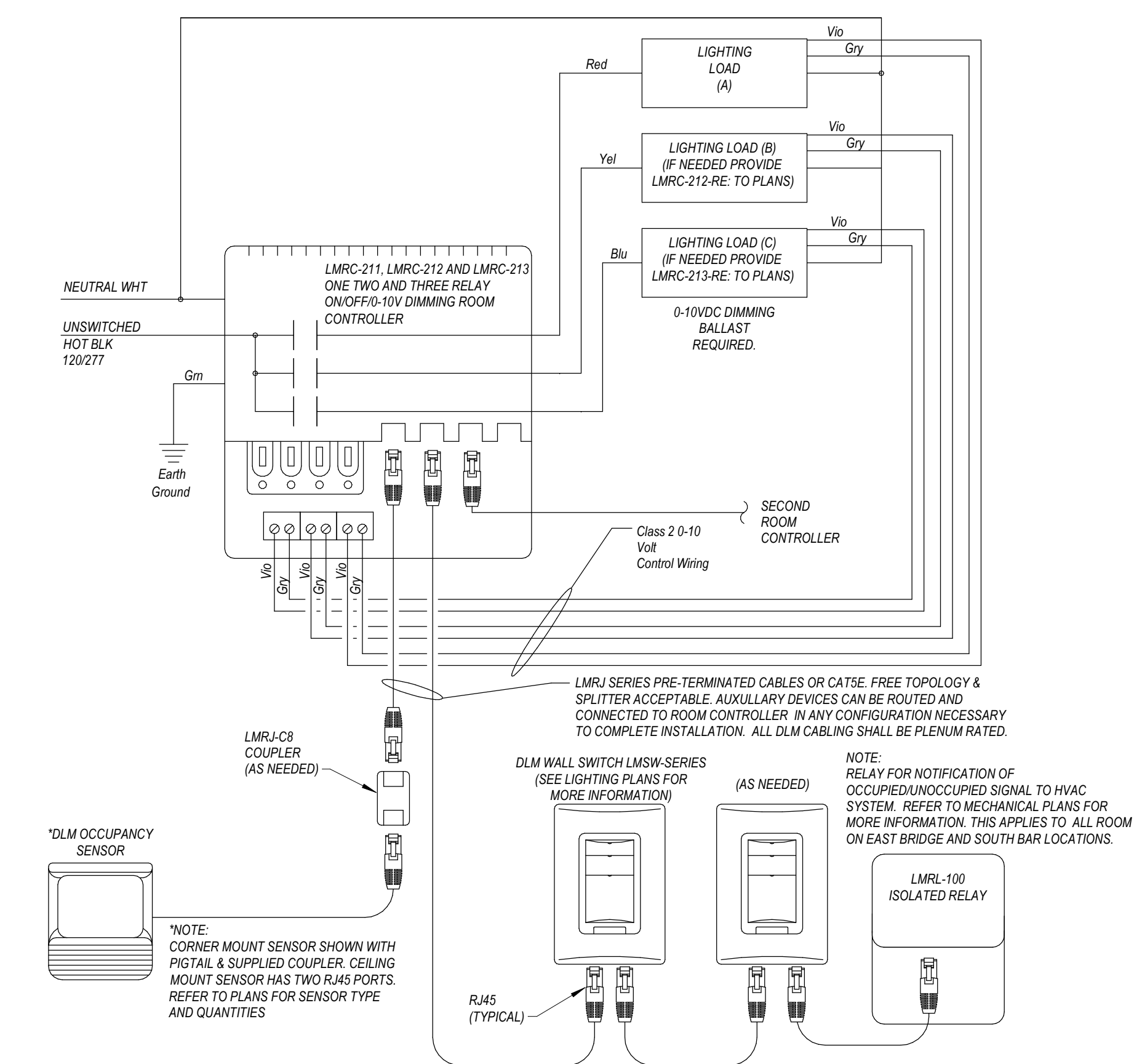
LIGHTING DETAILS & SCHEDULES

E400

LIGHTING SEQUENCE OF OPERATION

NOTES:
1. [L#] DENOTES THE LIGHTING SEQUENCE OF OPERATIONS FOR THIS SPACE.
2. [RB] PUSH BUTTON REFERS TO SCENE QUANTITY. CONTROL STATION SHALL BE CAPABLE OF [RAISE/LOWER AND] SWITCHING ON/OFF FOR MULTIPLE SCENES AS INDICATED ON SHEETS AND THE LIGHTING SEQUENCE OF OPERATIONS (L#).
3. [Z#] DENOTES LIGHTING CONTROL ZONE. PROVIDE SEPARATE CONTROL OF EACH CONTROLLED ZONE. LUMINAIRE ASSOCIATED WITH THE SAME ZONE SHALL OPERATE TOGETHER WITHIN THE SAME PROGRAMMED SCENE.
4. # = SWITCH DESIGNATION FOR LIGHTING CONTROL.
5. VERIFY AND COORDINATE ALL TIME CLOCK SETTINGS WITH OWNER PRIOR TO FINAL PROGRAMMING.
6. VERIFY AND COORDINATE ALL PUSH BUTTON WALL DEVICES AND QUANTITIES OF INDIVIDUAL BUTTONS WITH SCENES AND ZONES PER LOCATION.
7. VERIFY AND COORDINATE ALL PUSH BUTTON QUANTITIES AND SCENE NAMES WITH OWNER PRIOR TO SUBMITTING ENGRAVING TEMPLATE TO MANUFACTURER.

Table with 2 columns: PLAN ID, LIGHTING SWITCHED. Rows include (LD1), (LD2), and (LD3) with detailed lighting control sequences.



LMRC-211 SEQUENCE OF OPERATION IN THIS CONFIGURATION THE LMRC-101 DEFAULTS TO MANUAL ON/AUTOMATIC OFF.
LMRC-212 SEQUENCE OF OPERATION IN THIS CONFIGURATION THE LMRC-102 DEFAULTS TO MULTILEVEL AUTOMATIC ON/AUTOMATIC OFF. LOAD (A) TURNS ON AUTOMATICALLY AND LOAD (B) DEFAULTS TO MANUAL ON CONTROL. BOTH LOADS TURN AUTOMATICALLY OFF.
LMRC-213 IN THIS CONFIGURATION THE LMRC-213 SEQUENCE OF OPERATION: DEFAULTS TO MULTILEVEL AUTOMATIC ON/AUTOMATIC OFF OPERATION. LOAD (A) ON THE LMRC-213 TURNS ON AUTOMATICALLY. WHILE LOAD (B) AND (C) DEFAULTS ENHANCED ROOM TO MANUAL ON CONTROL. ALL RELAYS TURN OFF AUTOMATICALLY.

DETAIL OF LMRC-211, LMRC-212 AND LMRC-213 ROOM CONTROLLER CABLING | D19

SCALE: N.T.S.

LED LUMINAIRE SCHEDULE

Table with columns: (DESC) DOOR, DISTRIBUTION, BEAMWIDTH, (L/L) LENS/OVERLAP, (MTG) MOUNTING, (WATT) PER, (TYPE) LED, (TYPE) DRIVER. Lists various luminaire specifications and options.

CATALOG NUMBER SHALL NOT BE CONSIDERED COMPLETE AND MATERIAL SHALL NOT BE ORDERED BY MANUFACTURER AND CATALOG NUMBER ONLY. THE COMPLETE DESCRIPTION AND THE SPECIFICATION SHALL BE COORDINATED WITH THE CATALOG NUMBER TO DETERMINE THE EXACT MATERIAL AND ACCESSORIES TO BE ORDERED. THE FIRST MANUFACTURER LISTED IS THE BASIS OF DESIGN.
VERIFY AND COORDINATE ALL CEILING TYPES WITH LUMINAIRE MOUNTING AND TRIM REQUIREMENTS PRIOR TO THE RELEASE OF THE LUMINAIRE ORDER. CONFIRM ALL COLORS AND FINISHES OF ALL LUMINAIRE COMPONENTS WITH ARCHITECT AND INTERIOR DESIGNER PRIOR TO THE RELEASE OF THE LUMINAIRE ORDER. UNLESS INDICATED ON LIGHTING PLANS OR BELOW, REFER TO ARCHITECTURAL AND INTERIOR DESIGN ELEVATIONS, SECTIONS AND DETAILS FOR ALL SUSPENDED AND WALL MOUNTED LUMINAIRE MOUNTING HEIGHTS.

INTERIOR CORRELATED COLOR TEMPERATURE 3500K, COLOR RENDERING INDEX (CRI) AT OR ABOVE 80, UNLESS NOTED OTHERWISE.

Main luminaire schedule table with columns: ITEM, DESCRIPTION, L/L, MTG, DIMENSIONS (L, W, H, DIA), WATT (ANSI WATT S, PER), LED (DELIVERED LUMENS (MIN), VOLTS), DRIVER (TYPE, MANUFACTURER AND MODEL). Lists items A through G2 with their respective specifications.